

# *South Shore* *at Lake Las Vegas Resort*



*Residential Design Guidelines*





*Residential Design Guidelines*  
Adopted:  
**October 2013**  
*(as amended on February 24, 2021)*  
*Lake Las Vegas SouthShore Residential Community Association*

*These SouthShore Residential Design Guidelines have been adopted by the SouthShore Residential Community Association (SSRCA) Board of Directors on March 18, 2021 and therefore are part of the Association's governing documents.*

*As a part of the Association's governing documents, the provisions of these Residential Design Guidelines are enforceable by the SSRCA pursuant to the covenants, conditions and restrictions (CC&Rs) and NRS 116. Design Review Board applicants will be required by the SSRCA Board of Directors to comply with the provisions of these Guidelines notwithstanding the fact the SouthShore Design Review Board may have signed-off on plans which are contrary to all or a portion of the provisions of these SouthShore Residential Design Guidelines.*



*SouthShore*  
*at Lake Las Vegas Resort*  
*Residential Design Guidelines*

 *Table of Contents* 

<b>CHAPTER</b>	<b>TITLE</b>	<b>PAGE</b>
ONE	SouthShore History & Design Philosophy	1
	1.1 Lake Las Vegas Project History and Description	1
	1.2 An Introduction to SouthShore at Lake Las Vegas Resort	2
	1.3 Intent of the Design Guidelines	3
TWO	Design Review	5
	2.1 Design Review Board (DRB)	6
	2.2 Design Team Requirements and Responsibilities	6
	2.3 Design Review Process Overview	7
	2.3.1 Pre-Design Conference & Conceptual Design Review	10
	2.3.1.1 Pre-Design Conference	10
	2.3.1.2 Conceptual Design Review	11
	2.3.2 Preliminary Design Review	12
	2.3.2.1 Site Staking	13
	2.3.3 Final/Construction Document Design Review	14
	2.3.4 Re-submission of Plans	15
	2.3.5 Appeals	15
	2.4 DRB Construction Observation Process Overview	16
	2.4.1 Pre-Construction Conference	16
	2.4.2 Staging	16
	2.4.3 Inspections	16
THREE	Site & Landscape Architectural Guidelines	19
	3.1 Site Design	20
	3.2 Driveways and Auto Courts	21
	3.3 Walls, Fences and Gates	22
	3.3.1 Introduction	22
	3.3.2 Design Goals	22
	3.3.3 Requirements	23
	3.4 Pools and Water Features	25
	3.5 Miscellaneous Site Elements	26

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CHAPTER	TITLE	PAGE
THREE	Site & Landscape Architectural Guidelines (continued)	
	3.6 Landscape Plantings	27
	3.6.1 Landscape Ratios	27
	3.6.2 Natural Turf	28
	3.6.3 Synthetic Turf	28
	3.6.4 Plant Materials	28
	3.6.4.1 Trees	30
	3.6.4.2 Shrubs, Ground Covers, and Accent Plants	31
	3.7 Irrigation	32
	3.8 Rock Mulch and Boulders	33
FOUR	Architectural Design Guidelines	35
	4.1 Architectural Concept, Integrity & Quality	36
	4.1.1 Site Context and Integration	37
	4.1.2 Scale	37
	4.1.3 Proportion	37
	4.1.4 Color	37
	4.1.5 Rhythm and Balance	38
	4.1.6 Texture	38
	4.1.7 Shade and Shadow	38
	4.1.8 Appropriateness	38
	4.1.9 Material Authenticity	38
	4.2 Custom and Merchant-Built Architectural Criteria	39
	4.2.1 Architectural Standards	39
	4.2.1.1 Building Massing	39
	4.2.1.2 Accessory Structures	42
	4.2.1.3 Service Areas and Utility Entrance Locations	42
	4.2.2 Residential Exteriors	43
	4.2.2.1 Exterior Walls, Materials & Color	43
	4.2.2.2 Roof Design	47
	4.2.2.3 Windows and Door Openings	49
	4.2.2.4 Balconies and Terraces	52
	4.2.2.5 Mailboxes	52
	4.3 Exterior Lighting	53
	4.3.1 Introduction	53
	4.3.2 Lighting Design Goals	53
	4.3.3 Criteria and Guidelines	54
	4.3.4 Over-Illumination	56
FIVE	Glossary of Terms	59

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CHAPTER	TITLE	PAGE
SIX	Appendixes	67
A	Lake Las Vegas SouthShore Setback Criteria	
B	Lake Las Vegas SouthShore Approved Tree and Plant Palettes	
C	Material and Construction Requirements for Repair Patch of UTACS-Surfaced Bituminous Pavement.	
D	Lake Las Vegas SouthShore Amended Exhibits	





# CHAPTER ONE



## *SouthShore History & Design Philosophy*



### 1.1 LAKE LAS VEGAS PROJECT HISTORY AND DESCRIPTION

The original vision for a lake resort on these grounds came from local celebrity, businessman and politician, J. Carlton Adair, and his plans for *Lake Adair* in the mid-1960's. Adair developed the concept and gained approvals, but was unable to complete the project. Transcontinental Properties, Inc. then became involved in Lake Las Vegas in late 1987. Construction began on March 14, 1989. The 4,800-foot earthen dam, which was completed in the spring of 1991, created the lake.

The focal point of the 3,600-acre development is the 320-acre man-made lake spanning two miles in length and nearly one mile in width at its widest point. Lake Las Vegas includes exclusive residential areas with custom homes, retail boutique shopping, hotels, marinas, open space areas and complete municipal services.



*Beautiful Lake Las Vegas*

The various communities have been carefully planned - residential, shopping, transportation and recreation - to achieve a cohesive and complementary design. The Village, with an array of exclusive boutique shops and services, forms both the gateway and transportation hub of Lake Las Vegas.



## 1.2 AN INTRODUCTION TO SOUTHSHORE AT LAKE LAS VEGAS RESORT

**N**estled on the south side of the lake and around the private Jack Nicklaus-designed SouthShore Golf Course, is the guard-gated community of SouthShore. Looking up at the SouthShore Community reminds one of the hillsides of Tuscany with a number of custom home estates, waterfront and golf villas, resort condominiums and luxury executive homes each with a unique view of the Lake, mountains, golf courses, and the Lake Mead National Recreation Area.

Exclusivity is the primary quality of SouthShore, which hosts twelve private sub-communities each with a different perspective of golf and lake living. Whether accessing the resort amenities from their private dock, golf cart or simply by foot, residents are able to live a completely private lifestyle without ever leaving the resort.

SouthShore is an ever evolving and growing community thanks in part to the number of remarkable and distinct residences that continue to be developed within the community. At completion, SouthShore will house nearly 540 homes, not including a number of luxury condominiums and resort villas still under development. Custom Home Estates make up the majority of these homes which measure in excess of 4,000 square feet of living space.

SouthShore's and Lake Las Vegas Resort's design integrity is maintained through the judicious application of the Development Standards, Design Guidelines and the Covenants, Conditions & Restrictions (CC&Rs). These documents protect the rights and property values of the Owners.



*SouthShore lake-side residences*



### 1.3 INTENT OF THE DESIGN GUIDELINES

These guidelines describe an eclectic blend of Mediterranean inspired architectural styles that have been chosen to create the SouthShore environment. These guidelines do not dictate the use of any particular style but describe ways in which to translate a variety of styles into designs that are timeless, yet suited for modern living, and are appropriate for the climate and context of the community. They encourage individual interpretations of Mediterranean architecture, while maintaining continuity within the community.

It is important to note that while the guidelines allow Owners to create residences that reflect their own individual styles and values, no one residence, structure or improvement shall stand apart in its design or make a strong architectural “statement.” This means that a home within SouthShore is expected to be an understated expression of the Owner’s personality and style, the residence must also fit in the site and help to create a unified community image. The SouthShore Design Review Board (DRB) encourages creativity, the innovative use of materials, design, and unique methods of construction as long as the final result is consistent with these Guidelines and the overall design philosophy of SouthShore.

#### *Main Design Objectives*

The following are the main objectives for design elements at SouthShore:

- To create homes and landscapes that are appropriate to the SouthShore community and its architectural image.
- To create homes and landscapes that reflect an elegant, understated, outdoor lifestyle that captures the spirit and character of Lake Las Vegas.
- To establish a community where house and landscape respect and celebrate the experience of this place.

### 1.3 INTENT OF THE DESIGN GUIDELINES (CONTINUED)

This document is intended to assist the Owner and Architect/Designer in the design, construction and renovation of a home in SouthShore. It is a design manual which includes concepts to guide specific areas of consideration – site plans, architecture and landscape architecture. Adherence to these Design Guidelines will ensure that all development within SouthShore at Lake Las Vegas will maintain high standards of design.

The DRB operates in addition to the other building regulatory agencies and does not supersede governmental authority. These Design Guidelines are intended to serve aesthetic purposes only and do not replace structural requirements or building codes. Although every reasonable effort has been made to eliminate errors or inconsistencies, it is the responsibility of the lot Owner to confirm sound construction practices and to comply with laws. In event inconsistencies among these Design Guidelines, sound construction practices and applicable laws, the more stringent of the standards control.

This manual is being provided to ensure that the quality and fundamental concepts established at the master planning stage are maintained in the final phase of detailed planning and design. More specifically, it will be utilized by the SouthShore DRB to regulate construction activity. This review board is an extension of the SouthShore Association with combined jurisdiction over the entire site. It is responsible for enforcing the Design Guidelines and associated standards.

It is the Owner's responsibility to be aware of the documents governing their property which include, but may not be limited to:

- City of Henderson Development and Building Codes
- Lake Las Vegas Resort, Master Property Owners Association (MPOA) & SouthShore Residential Development Standards and Covenant, Conditions and Restrictions (CC&Rs)
- "Lake Las Vegas SouthShore Residential Development Standards" and "Residential Design Guidelines for Lake Las Vegas SouthShore," both of which were adopted by the City of Henderson, October 17, 1996.
- SouthShore Pre-Construction Package and Fee Schedules.

The Lake Las Vegas documents are available at the HOA office.

## CHAPTER TWO

### ❧ *Design Review* ❧



This section provides a guide for the Design Review process for SouthShore. The process involves a series of meetings among the Owner, the Owner's design team and the DRB. The process begins with an informal introductory meeting and concludes with the DRB Final Inspection. Along the way there are a series of meetings designed to ensure a smooth and efficient review of the building and site design. The DRB is committed to assisting Owners through the Design Review process and the DRB should be thought of as a member of the Owner's design team as opposed to a regulatory agency.

Design Review is essential to provide the predetermined quality deemed necessary by the SouthShore Association. This activity will guarantee the development's integrity as it passes through the many hands involved: developers, builders and contractors, consultants, and homeowners. This manual sets forth the theme, spirit, parameters and range of design for all physical structures, landscaping and elements on the site.



## 2.1 DESIGN REVIEW BOARD (DRB)

The DRB is a functional arm of the SouthShore Residential Community Association and is composed of three to five persons, all familiar with the design and review process, individual parcel concepts, and the overall Lake Las Vegas Master Plan. The DRB is responsible for reviewing and approving all site Improvements and any revision, alteration, or deviation to those Improvements. The DRB chairman, or a designee, will serve the important role of liaison between the Owners, their design team consultants, the DRB, and the SouthShore Association. The chairman's responsibilities range from providing basic information to explaining concepts and reviewing all processes. The goal of the DRB is to process each submittal fairly, consistently, in a timely manner and - most importantly - in accordance with the requirements of the Design Guidelines, Development Standards and CC&Rs.

The DRB has jurisdiction over all construction activity on all residential area custom lots, merchant parcels, Planned Unit Developments (PUDs), Condominium Associations, and Common Areas within SouthShore. Properties currently owned by the Declarant will be designed in compliance with the Design Guidelines and Development Standards, but, are specifically excluded from DRB review.

The City of Henderson will not accept any drawings, or revisions, for review without the DRB's stamp and approval letter. Upon review and approval by the DRB, the Construction Documents will be stamped "approved" and a letter of approval issued. The drawings can then be submitted to the City of Henderson for their review.

The DRB will review and act on a formal drawing submission within thirty (30) days of receiving the submission.

## 2.2 DESIGN TEAM REQUIREMENTS AND RESPONSIBILITIES

The Owner must use licensed professional consultants (e.g. Architect, Land Surveyor, Contractor), in accordance with Nevada State Law. It is the Owner's responsibility to ensure that all licensed professionals receive applicable documents and process any exterior architectural and landscape revisions to the project or lot under construction, through the DRB, and that their contractors construct the project in conformance with approved plans and revisions.

It is recommended that the Owner provide the DRB with the names, addresses, and contact information of all consultants once they are selected so that copies of the Design Guidelines can be made available to the Owner's design team for review.



## 2.3 DESIGN REVIEW PROCESS OVERVIEW

Improvement plans will be carefully reviewed by the DRB to ensure that the proposed design is compatible with the design intent at SouthShore and the Design Guidelines. This Design Review Process must be followed for any of the following improvements:

- Construction of all new buildings.
- The renovation, expansion or refinishing/repainting of the exterior of an existing building or fence.
- All site and/or landscape Improvements (including pools and driveways).
- Construction of, or additions to, fences or enclosure structures.
- All landscape planting contemplated as a part of a renovation or in conjunction with new construction.

The DRB evaluates all development proposals on the basis of these Design Guidelines. Some of the guidelines are written as broad standards and the interpretation of these standards is the responsibility of the DRB. Other standards, such as building height or setbacks, are more definitive or absolute design parameters and in many cases parallel City and building code requirements. It is the intention of this Design Review Process that all Improvements comply with these absolute standards. In the event of a conflict between these Guidelines and any local zoning or building codes or project approval documents, the more strict of the local zoning, building code or project approval documents shall govern.

Pursuant to Article 8.3.10 (d) of the CC&Rs, the Design Review Board approval for any particular Construction Activity shall expire if substantial work pursuant to the approved plans and specifications is not commenced within six (6) months of the Design Review Board's approval of such Construction Activity. All Construction Activities shall be performed as promptly and diligently as possible. The initial construction of any single-family detached Residence on a Lot must be completed within twelve (12) months after commencement of construction, subject to force majeure delay or any waivers or extensions granted in writing by the Design Review Board.

## 2.3 DESIGN REVIEW PROCESS OVERVIEW (CONTINUED)

SouthShore's Design Review Process takes place in four major steps:

- Pre-Design Conference & Conceptual Design Review
- Preliminary Design Review
- Final/Construction Document Review including:
  1. Architectural Plans
  2. Finishes
  3. Landscape Plan
  4. Landscape Lighting Plan

Note: Landscape Plan and Landscape Lighting Plan may be submitted at any time prior to Inspection of completed project.
- Inspection of completed project including installed landscaping.

Any Improvement outlined above will require and be preceded by the submission of plans and specifications describing the proposed Improvements. An application fee will be required at the time of submission.

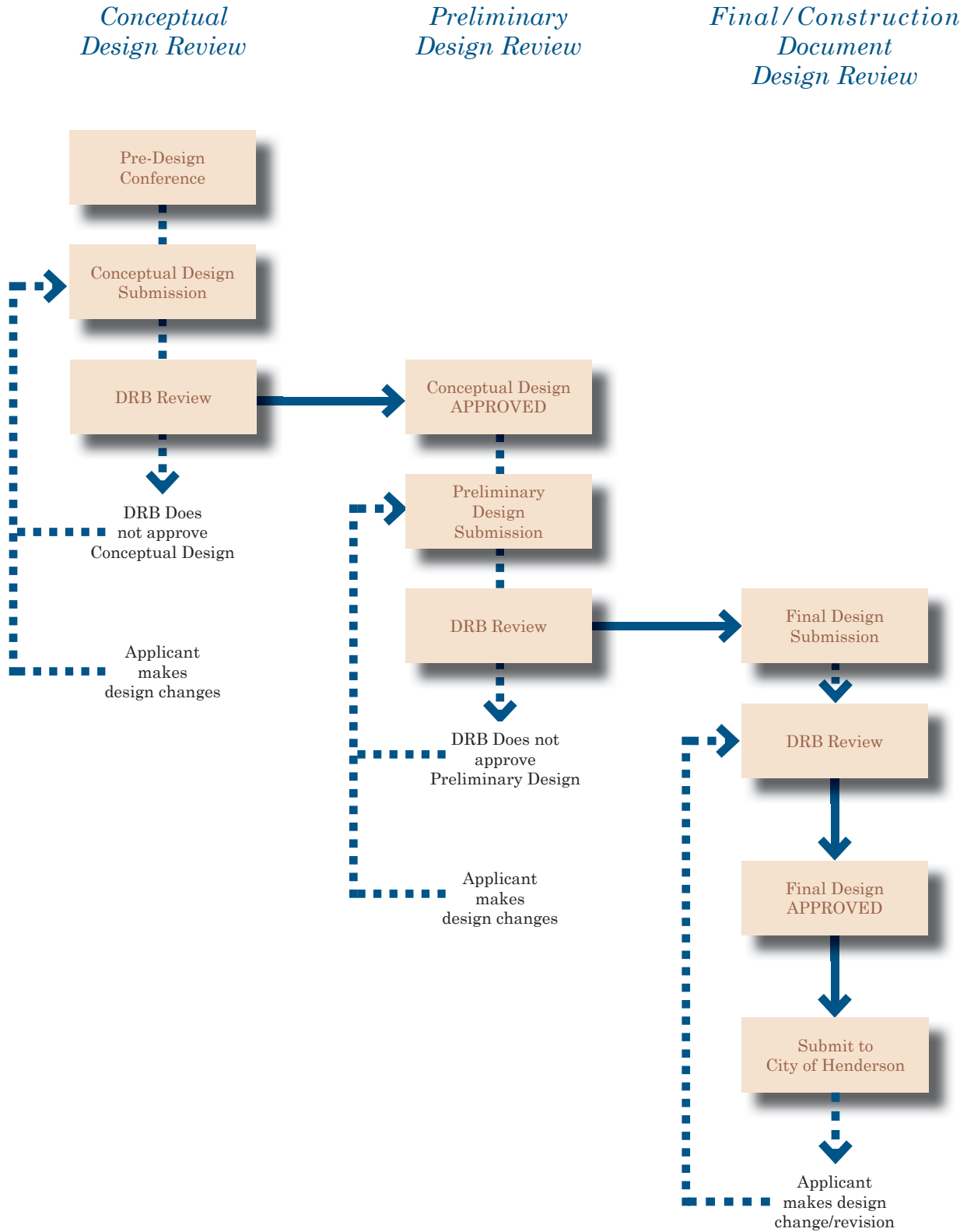
Having secured Final/Construction Document approval from the DRB, the Owner is also required to meet all the submittal and approval requirements of the City of Henderson Planning and Building Departments to obtain design approvals or any other discretionary permits and a building permit.





## THE SOUTHSHORE DESIGN REVIEW PROCESS

*In order for an Application to move through the Design Review Process, the Applicant must be in Good Standing with the SSRCA*



## 2.3.1 Pre-Design Conference & Conceptual Design Review

### 2.3.1.1 Pre-Design Conference

Prior to the preparation of any materials for DRB review, the Owner and/or their consultants are required to meet with two or more representatives of the DRB for a Pre-Design Conference. It is recommended that all consultants attend this meeting. An explanatory Pre-Design Conference package will be issued by the DRB to the Owner at the meeting that includes:

- Current copy of the Design Guidelines.
- Lot-specific diagram, showing Setbacks, Building Envelope, etc.
- Parcel/neighborhood-specific Minimum Setback Matrix
- Design Review Application.

The purpose of this meeting will be for the DRB to answer any questions the Owner and/or consultant's may have and to offer guidance on the following subjects:

- The particular characteristics and restrictions on the Lot, as shown on the Lot-specific diagram, as provided by the DRB.
- Optimal orientation of buildings and outdoor spaces.
- Additional survey information requirements.
- Preliminary building and site development program ideas and requirements.
- Clarification and review of Design Guideline objectives.
- The requirements, fees and schedule of the Design Review Process.
- The system of penalties for non-adherence to the Design Review Process

Drawing submittals and design review applications must be complete and in line with Design Guideline requirements before the DRB formally accepts them for review in the next step, the Conceptual Design Review.

### 2.3.1.2 Conceptual Design Review

The purpose of the Conceptual Design Review submission is to confirm that the design professionals are headed in the right direction, interpreting the Guidelines appropriately and that the Owner's plan can be accommodated on the Lot. This submittal may be combined with the Pre-Design Conference.

Prior to the Pre-Design Conference, the applicant shall submit to the DRB a written application and appropriate fees together with the Concept Design Review submission materials, as described below:

- Concept Design Review Application form
- Letter/Memo indicating overall design intent, description of the proposed design, and justification for the design and/or any Variance requests.
- Topographic Survey of Lot & surroundings (1/8" scale or smaller, as appropriate) indicating one foot (1') interval contour lines, spot elevations, utility locations/connections, property lines, building setback lines, easements, approved pad elevation, etc. This survey drawing shall be prepared by a licensed surveyor/civil engineer.
- Conceptual Site/Grading/Floor Plan (1/8" scale or smaller, as appropriate) indicating proposed floor plan(s), roof overhangs, conceptual site elements (driveways, walkways, patios, pools, etc.), existing and proposed conceptual grade changes, utility locations/connections, property lines, building setback lines, easements, approved pad elevation, adjacent lot building envelope/footprint lines, etc.
- Conceptual Elevations and Site Sections (1/4" or smaller, as appropriate) including at least four (4) elevations (north, south, east, west), exposed exterior materials, heights and roof pitches labeled. For properties with significant grade changes, section(s) cutting through the site may be requested by the DRB to best communicate the project-to-site relationship.

If the Owner would like to discuss landscaping, colors or materials at the Conceptual Design submittal, the DRB would encourage the submission of this information for review and comment.

Two (2) sets of the above drawings are required. The drawings will be reviewed by the DRB and/or its consultant(s) for compliance with the Design Guidelines. Upon completion of the review, one (1) set will be returned to the Owner and one (1) set will be retained by the DRB/HOA for their records.

Refer to the SouthShore Residential Development Standards for additional information on specific drawing requirements.

### 2.3.2 Preliminary Design Review

The Preliminary Design Review submission is meant to provide the Owner and DRB with drawings that illustrate and communicate a fully developed design concept that is well integrated with the site and surroundings, conveys existing site conditions, constraints, building orientation and design, vehicular and pedestrian access, the proposed use of exterior materials and colors, and conceptual landscape design.

The following Preliminary Design Review submission materials are required, as described below:

- All information and drawings from Conceptual Design Review are required to be included/incorporated within this submission.
- If there has been a Conceptual Design Review, a letter/memo indicating review comment responses and/or changes from the prior Conceptual Design Review submission. Provide justification for the design responses to the review comments and/or any Variance requests.
- Cover Page indicating Architect/Designer's name, contact information and NV state license number, vicinity/location map, index of sheets, Lot address/ Parcel/Lot number, Name of Owner.
- Site Plan (between 1/8"=1'-0" and 1"=20'-0") as appropriate indicating 1st & 2nd story building outlines, property lines with dimensions, buildable footprint, top and toe of slopes with survey dimensions, walls, hardscape, exterior finishes, easements, shade structures, etc.
- Grading Plan (scale to match site plan) indicating existing and proposed grades, property lines with dimensions, drainage patterns, retaining wall locations and sections, grades of adjacent properties, streets, slopes, etc.
- Floor Plan(s) (1/4" or 1/8" scale, as appropriate) indicating dimensions for all levels of main building and any accessory buildings.
- Roof Plan(s) (1/4" or 1/8" scale, as appropriate) indicating all roof design elements, ridge lines, valleys, eaves, dimensions of overhangs and chimney caps.
- Elevations (1/4" or 1/8" scale, as appropriate) including at least four (4) elevations (north, south, east, west), exposed exterior materials, heights and roof pitches labeled.

### 2.3.2 Preliminary Design Review (continued)

- **Hardscape Plan** (scale to match site plan) indicating property lines, building footprint, view corridors from site plan, the location and material of driveways, patios, pool, spa, BBQs, walls and gates.
- **Electrical Plan(s)** (scale to match floor plans) indicating exterior lighting fixtures, wattage, electrical circuits, specification of type of fixture, manufacturer and model number information.
- **Color and Material Board/Binder** indicating written and pictorial descriptions of all exterior finish materials (e.g. stone, stucco, etc.), texture, trim, railings, exterior doors, garage doors, roof tiles, eave treatments, wall caps, light fixtures and any other distinguishing finish materials and/or treatments.
- **Landscape Plan and Landscape Lighting Plan** (scaled to match Landscape Plan) showing property, building footprint, view corridors, plant material, and North arrow. Note: Any variations from approved plant list above may be submitted at this time or any time prior to installation and DRB final approval.

Two (2) sets of the above required drawings are required. The drawings will be reviewed by the DRB and its consultant(s) for compliance with the Design Guidelines. Any deviation from the Guidelines will be specifically noted. Upon completion of the review, one (1) set will be returned to the Owner and one (1) set will be retained by the DRB/HOA for their records.

Refer to the SouthShore Residential Development Standards for additional information on specific drawing requirements.

#### 2.3.2.1 Site Staking

The Owner may be required, at the discretion of the DRB, to stake lot lines and the corner locations of the proposed buildings and all other major Improvements upon submitting the Preliminary Design Review documents. In some instances, the DRB may require that ridge line flagging be erected to indicate proposed Building Heights.

### 2.3.3 Final/Construction Document Design Review

The Final/Construction Document Design Review submission is the DRB's opportunity to review the final and complete construction documents, prior to submitting to City of Henderson for approval and permitting. As such, it is required that this submission be 100% complete prior to submitting to the DRB for review. Incomplete submissions will either not be accepted, or may be subject to additional review fees.

The DRB will review the Final/Construction Document Design Review submission after it has reviewed and approved the Preliminary Design Review submission. The DRB may submit the final construction drawings to its consulting architect for their opinion. In addition, when final landscape plans are submitted for review the DRB may submit these plans to its consulting landscape architect for their opinion. The cost of both of these reviews will be paid by the applicant from their refundable deposit. The following Final/Construction Document Design Review submission materials are required, as described below:

- All information and drawings from Conceptual and Preliminary Design Review are required to be included/incorporated within this submission.
- Letter/Memo indicating review comment responses and/or changes from the prior Preliminary Design Review submission.
- Complete set of Architectural Construction Documents to include, but not limited to: Cover Sheet, Site Plan, Grading/Drainage Plan, Floor Plan(s), Exterior Elevations, Building/Wall Sections, Roof Plan(s), Reflected Ceiling Plan(s), Glazing/Door/Finish Schedules and any other Details as required to completely convey the design and constructability of the project.
- Drawings provided beyond this list are not required for the DRB's Final/Construction Document Design Review and therefore are not reviewed by the DRB or its consultant(s). However, the City of Henderson likely will require additional design drawings. It is advised that the Architect/Designer confirm City of Henderson submittal requirements prior to the submission of the drawing set to the DRB to ensure a complete set of Architectural Construction Documents.

One (1) paper and one (1) electronic copy of the above required drawings are required. The drawings will be reviewed by the DRB and their consultants for compliance with the Design Guidelines and prior submission reviews. If the DRB does not approve the plans, a written notice of disapproval will be sent explaining the basis of its decision and noting the section of the Guidelines that apply. Corrections will be suggested. Upon approval, the DRB will stamp and sign the drawings indicating approval. Without this stamp/signature from the DRB, the City of Henderson will not accept your plans for review.

#### 2.3.4 Re-submission of Plans

In the event that the Conceptual/Preliminary/Final Design Review submission are not approved by the DRB, the Owner shall follow the same procedures for a re-submission as for the original submission. An itemized letter from the Owner/Owner's design consultant shall accompany any re-submission noting all DRB comments and how each comment has been addressed in the re-submission. An additional Design Review fee may accompany each re-submission as required by the DRB.

It is also possible that the City of Henderson may, from time to time, amend its regulations such that they conflict with these Guidelines. It is the Owner's responsibility to confirm plan consistency with the City and the DRB assumes no responsibility for changes that may be implemented as a result. Any revisions to the drawings having an effect on the exterior, as required by the City of Henderson, or otherwise, must also be resubmitted to the DRB to ensure design compliance with the Design Guidelines. Additional Design Review fees may apply.

#### 2.3.5 Appeals

If the Owner/Owner's consultant takes exception to a DRB comment or decision of denial, and an agreement or compromise cannot be achieved, the Owner has the right to appeal the DRB decision to disapprove the submission to the SSRCA Board of Directors. Furthermore, regarding a project of new construction or major remodel, any time prior to the DRB stamping and signing plans for approval, any SouthShore homeowner or member of the DRB may file an appeal to the SSRCA Board of Directors regarding the proposal in entirety, or to any of its parts thereof. The SSRCA Board of Directors has the authority, but not the obligation, to overturn any DRB decision and modify or deny the proposed project. The requesting Owner of the project, or the Owner objecting to all or part of a project, must submit their full DRB application to the Board via the HOA management office along with a letter specifically detailing their request and what is exactly being appealed and requested of the Board. The Owner may garner support from neighbors that may be affected by the appeal. The Board will review the appeal at its next regularly scheduled Executive Session meeting unless it is deemed appropriate by the Board to hold a separate Executive Session meeting. The requesting owner has the right to be present and speak at the hearing when they consider the appeal. The SouthShore DRB will provide background and a detailed description of the reason(s) for their decision to the Board of Directors on the matter being appealed no later than ten (10) days prior to the scheduled hearing date.

The Board will communicate their decision in writing to the Owner and DRB no later than fifteen (15) days following the appeal hearing. The Board has no obligation to review appeals more than once.



## 2.4 DRB CONSTRUCTION OBSERVATION PROCESS OVERVIEW

### 2.4.1 Pre-Construction Conference

**P**rior to beginning construction, your Contractor must schedule and attend a pre-construction meeting with the DRB Coordinator. As Owner, you are encouraged to attend this important meeting as well. The pre-construction meeting details field construction rules and regulations which must be adhered to during the building of your home.

One (1) paper set (11x17) and one (1) electronic of the site plan, all exterior elevations and exterior electrical sheets must also be submitted at this meeting.

### 2.4.2 Staging

**I**f additional staging space is needed, a request must be made to the DRB. The availability of staging space in the immediate vicinity of the project is not guaranteed. If you can identify a suitable staging lot, the DRB will assist in contacting the Owner of the proposed staging lot to convey your request. Written and signed agreements between both parties must be on file with the SSRCA in order for you to use a lot other than your own for staging.

### 2.4.3 Inspections

**A**fter the construction of the project begins, formal inspections by the DRB, or its representatives, are required. The inspection schedule, as described herein, must be followed. The DRB reserves the right to add restrictions or additional conditions if this process is not followed. Additionally, during the duration of the construction phase, any number of informal inspections of the building and its surrounding improvements may be made by the DRB. If, at any time, it is determined that all or part of such construction does not comply with the DRB approved plans, the DRB will notify the Owner/Contractor and City of Henderson of such non-compliance. At this point forward, the City of Henderson will discontinue further inspections until the City, Owner/Contractor and the DRB have met to review the issue and agreed upon the method of resolution.



### **Final Inspection - DRB Final Plan Conformance Inspection:**

After completion of all improvements, building and landscape, the Contractor must contact the DRB for Final Inspection, to inspect for conformance of the building and surrounding improvements with the approved plans and revisions. This Final Inspection will also include an inspection of exterior lighting, as described in Section 4.3.4 of these Guidelines and a final landscape inspection, a pool inspection and a hardscape inspection. If as a result of the final landscape inspection, it is the judgement of the DRB that the landscape does not comport to the approved plans the DRB may, notwithstanding the fact the DRB has approved a previously submitted landscape plan, require additions or modifications of the installed landscaping. Only upon completion of the DRB Final Inspection and with no outstanding non-compliance issues, the Contractor may request City of Henderson Certificate of Occupancy inspections.

Upon completion and passage of the DRB Final Inspection (and issuance of the Certificate of Occupancy by the City of Henderson), the Owner shall submit a letter certifying that all improvements were constructed per plan, within the Building Envelope requirements. Pools also require this inspection.

An applicant's refundable deposit will not be returned until the DRB has conducted the aforementioned inspections and has approved the project as being in conformance with the design guidelines and the applicant's approved plans. In addition, failure to complete the project in compliance with the design guidelines and in accordance with the applicant's approved plans may result in a fine imposed by the SouthShore Board of Directors. The DRB, in its discretion, may ask its architectural and/or its landscape consultants to also conduct a final inspection. The cost of this inspection will be paid by the applicant from their refundable deposit.



## CHAPTER THREE



### *Site and Landscape Architectural Guidelines*



The following chapter outlines Guidelines and standards for all site work relating to a Home site including grading, planting, siting of structures, design of outdoor areas, and preservation and enhancement of the surrounding landscape.

#### *Site and Landscape Design Objectives*

The following are the main objectives for site and landscape design at SouthShore:

- To create landscapes appropriate to the existing Lake Las Vegas SouthShore community and its architectural image.
- To build upon developer installed landscape in a high quality manner that creates a unique setting for each home site.
- To encourage landscape designs for homes that create a seamless transition from the shoreline, golf course or common area landscapes to the more intimate landscapes of the Homeowners' private yards.
- To utilize plant palettes which are sensitive to water conservation and respond to the unique climate and setting of SouthShore.



## 3.1 SITE DESIGN

### *Guidelines*

- All development styles should foster a custom impression.
- Site design and building location must include an awareness of the adjacent properties' development potential. The effect on views, privacy, access, etc. are important rights to be protected and a value to lot owners. This right shall not be reduced by an unreasonable siting, which takes undue share of amenities. The DRB will request any proposed construction or landscaping, that is deemed an unreasonable view obstruction, be modified to correct the obstruction. The mature size of landscaping will be considered. A copy of the View Policy is available from the SouthShore Residential Community Association and should be utilized as a guide in the development of the design.
- Whenever possible, homes should be arranged in a staggered and variable setback fashion to provide visual interest and avoid the repetitive appearance of arcades and yards for single-family residential areas.
- Structures on a sloping site shall be situated so as not to impact the natural silhouette of ridge lines, natural landscape and open space.
- The siting of all structures shall relate to the natural terrain in order to minimize grading operations.
- Varied driveway locations are encouraged to break-up repetitive curb cuts and yard patterns.
- Use of staggered garage setbacks to enhance the street scene appearance is encouraged. Side-entry garages are strongly encouraged, where lot configuration allows.
- Separation of pedestrian/vehicular traffic should be maintained.
- Open parking and carports for multi-family dwellings shall be clustered into parking courts.
- Guest parking, where possible, should be located along through-circulation drives and near unit entrances for multi-family homes.
- Transition between various land uses should be graceful and not abrupt.
- A desirable minimum area for a custom residence is 3,000 square feet. It is understood that there may be exceptions to this due to existing lot configurations and constraints.
- No landscape, hardscape, fences and/or pools will be permitted to be constructed to encroach onto the SouthShore Common Area property without prior DRB and Board approval. If the encroachment is permitted, the Owner must execute an agreement that they will install and maintain the improvements within the encroachment as well as agree to maintain liability coverage for SouthShore. This agreement will be reviewed and approved by legal counsel.
- Where connections to public utilities require cutting street paving, all patch and repairs shall be per the requirements provided in Appendix C.
- All development shall conform with the City of Henderson setback requirements and, unless a variance is granted by the DRB, the setback requirements of SouthShore (see Appendix A).



## 3.2 DRIVEWAYS AND AUTO COURTS

### Objectives

- To minimize visibility of paved areas from neighboring Lots through careful siting, grading and use of architectural devices and landscape.
- To blend driveways into the natural terrain so that grading is minimized.

### Guidelines

- All driveways are to follow alignments that minimize grading or other disruption to the site. The driveway-parking-garage layouts are to minimize the visibility of the garage doors, driveways and off-street parking from the street, Common Areas and adjoining Lots wherever possible.



- Only one driveway entry is preferred for each Lot. A suggested driveway access point is indicated on the Lot Diagram. Alternate locations or additional drives may be approved by the DRB if applicant demonstrates that such relocating furthers the objectives of SouthShore and doesn't negatively impact adjacent Lots.
- Approved materials for driveways and auto courts include integral colored and patterned concrete, precast concrete pavers, stone, brick and/or cobble, with or without concrete and/ or stone, cobble or brick edge detailing.
- Coloring and texturing of concrete is required. Colors of finish paving materials shall complement proposed buildings and integrate well with the surrounding earth tone colors. No smooth or broom finishes will be allowed (only seeded or washed, exposed textures).
- Driveway paving shall match or be similar in style and/or color to paving used from the outdoor areas such as terraces and/or stairs.
- The quantity of hardscape in the auto court should provide ample space for easy turning movements and vehicular parking. Excessive paving that impacts the surrounding landscape areas discouraged.

*Careful consideration of hardscape and landscape design creates driveways and auto courts that blend into the Community.*



## 3.3 WALLS, FENCES AND GATES

### 3.3.1 Introduction

Lake Las Vegas has several standard walls designed to provide continuity of design and to provide maximum flexibility for the owners. The use of walls and fences for purposes other than side yard privacy walls are discouraged when possible. However, due to pool enclosure requirements, side yard privacy, pet enclosures, and screening requirements, some walls and fences may be required.

### 3.3.2 Design Goals

Lake Las Vegas' intent is to provide consistency of color and material for fencing. The use of wrought iron, stucco or stone veneer, is mandated. Wall designs deviating from the Lake Las Vegas standard design will be reviewed on a case-by-case basis.



*Courtyard walls, fences and gates create a semi-private area within the site, while further providing opportunity to enhance the character of the architecture through varied scales, material and texture.*

## 3.3 WALLS, FENCES AND GATES (CONTINUED)

### 3.3.3 Requirements

The DRB recommends that walls be limited throughout the development. Please refer to Appendix D regarding the mandatory wall and fence requirements and Lake Las Vegas standard designs. Where these Design Guidelines require walls for privacy or security, they must conform to the following guidelines:

- Five foot minimum/six foot maximum (5' min./6' max.) high masonry stuccoed block walls must be provided along residential property lines to enclose side yards except along the rear lot line of a fairway lot or lake edge. Wrought iron fencing is to be provided at side yard walls from the rear setback line to the rear property line in order to preserve views. Additional wrought iron fencing at the side yard walls may be used, where approved by the DRB.
- The first custom lot owner to require wall or fencing shall construct the entire wall on his property and retain the construction receipts. The first custom lot may be entitled to partial reimbursement from the adjacent Owner pursuant to SouthShore governing documents.
- All side yard property line walls and footings will be located on the property line. Top of footings must be placed below the lowest pad to either side of the wall and footings must be covered with a minimum of six inches (6") of soil. All property line walls will be terminated with a minimum two-foot six-inch (2'-6") pilaster.
- Side yard property line walls must extend, at a minimum, to front and back of a residence, but cannot be built closer than twenty feet (20') to the golf course.
- Height of side yard walls is to be measured from the higher building pad height between two lots.
- Side yard property line walls should be returned to the house when the distance between the house and the side yard property line wall is less than ten feet (10'). Alternatively, the side yard wall may continue to become an enclosing front courtyard wall, in which case the wall must maintain the required front yard setback.



*Typical property line wall and view fence*

### 3.3.3 Requirements (continued)

- All walls must be masonry of eight inches (8”) thick and be constructed to match or complement the house. Pilasters are required wherever walls start or end, and at transition between horizontal and sloping sections, as well as at changes in height or direction. Pilaster and standard wall caps may not be painted. Their placement must be noted on the drawings. Walls must be clad in local, natural stone or in plaster color that meets the DRB standard color criteria. The DRB may require that both sides of a wall be the same color if no building exists on an adjacent lot.
- No freestanding or retaining walls may be placed in rear yard setback areas if they are visible to the golf course or lake except as allowed in Appendix D. The maximum approved slope from property line to top of wall is 4 to 1. Open view fencing is permitted on golf course and lake edge where security is required.
- In some cases, fences may be constructed on HOA property. Special rules apply in these cases and the HOA must be contacted to obtain approvals.
- Vehicle entry gates and/or entry columns must be located within the building envelope. Gates and columns shall be understated in design and not make a statement when viewed from the street, common areas or neighboring lots.
- Specific requirements for engineered/retaining walls are outlined in the CC&Rs. All engineered/retaining walls must be approved by the DRB and permitted by the City of Henderson.
- Special consideration shall be made to prevent water/moisture infiltration that would cause damage and/or spalling to the applied wall finishes (e.g. stucco, stone, etc.).
- All walls shall conform with local building code requirements.
- “Keystone” type retaining walls are prohibited on perimeter walls.



*Example stone clad site wall with concrete caps*



*Terraced, site retaining walls and integrated planting help blend the development into the landscape.*





### 3.4 POOLS AND WATER FEATURES

#### Objectives

- To locate pools and/or water features where they are not highly visible from public areas.
- To design pools and water features which augment the outdoor spaces, and complement the architectural style of the main buildings.



#### Guidelines

- In general, pools and water features are to be designed to be integral parts of the residential design and visually blend with the landscape. Landscaping should be selected and arranged to complement the water features and create “outdoor rooms.”
- Pool setbacks shall be two feet (2’) minimum from the property line. A licensed survey is required to verify the siting of the pool within required setbacks. See Section 2.4.3 - Inspections for requirements.
- Structures such as waterfalls, slides, rock outcroppings, etc. must be set back a minimum of 10’ for Lot lines next to Streets, the Golf Course, or Open Space. Such structures are limited to 8’ in height above existing grade.
- Freestanding fountains in the front yard must remain within the Building Envelope, are limited to 25 SF of surface area and may have a maximum depth of 18”.
- Pool equipment must be screened from view.
- Landscaping treatment is required around water features or pools facing open space or golf course.

*A well integrated pool and hardscape design that complements the architecture helps the development visually blend with the landscape.*



### 3.5 MISCELLANEOUS SITE ELEMENTS

#### **Misting Systems**

**M**isting systems shall be integrated into the structure and shall not be obtrusive. All equipment that is visible from other Residences, Common area, Open Space, or Golf Course shall be non-reflective and muted coloration.

#### **Barbecues, Fireplaces and Fire Pits**

**B**arbecues, fireplaces, and fire pits may be stand-alone or built into the site walls or overhead structures.

#### *Guidelines*

- Barbecues and fire pits are to be architecturally consistent with the Residence.
- Detached outdoor fireplaces must be set back at least 10' from the property line.
- Outdoor fireplaces may not exceed 10' in height.
- Fire Pits and Permanent Barbecues must be a minimum of 5' from any property line.
- It should be noted that barbeques, fireplaces, and fire pits are subject to the City of Henderson Building and Fire Safety Uniform Guidelines.

#### **Flagpoles, Antennae, Satellite Dishes and Solar Panels:**

**T**hese items are subject to special review by the DRB. Visibility from any neighboring Lot, Common Area, Shoreline or the golf course should be considered and it is suggested that they are mounted in an inconspicuous manner and painted or colored to match adjacent background and color to blend with the surrounding building. Freestanding flagpoles shall not exceed twenty-five feet (25') in height or the residences maximum height, whichever is lower.



## 3.6 LANDSCAPE PLANTINGS

### *Objectives*

- Landscape should be designed cohesively with the architecture and support melding the building(s) with the site and surrounding areas.
- Plant material should be used to define outdoor rooms, frame views, provide scale for building masses, create privacy and/or provide landscape focal points.
- Protect views from adjacent Lots or Common Area through the use of appropriate plant material and sensitive landscape planning.
- Landscape planting should support and reinforce the Mediterranean inspired theme of the community.
- Planting plans shall be responsive to environmental concerns regarding water conservation and erosion control.
- The requirements contained in this Section are designed to maintain the continuity within the SouthShore community. Recognizing that not all building sites are identical, individual site considerations may result in adjustments to these requirements.

### *Guidelines*

- **Southshore Approved Plant List** - An approved plant list has been created to assist the landscape designer in achieving the landscape planting objectives outlined above. See Appendix B. Owners are encouraged to select from this list. Other species are subject to approval at the sole discretion of the DRB. If alternative species are proposed, a cut sheet including a photo of the plant and all plant characteristics (height, width, flower color, flower season, exposure, water use, growth rate, hardiness zone, etc.) is required to be submitted with the planting plan for review.

### 3.6.1 Landscape Ratios

- A minimum of 60% of the total Front Yard area must be allocated to planted landscape area.
- A minimum of 30% of the total Back Yard area must be allocated to planted landscape area for properties with a pool, Back Yards with no pool shall increase the total planted landscape areas by 20%.
- For properties adjacent to other residential properties, the lake shore and/or golf course: cacti, agave, and yucca may account for no more than 20% of total landscape plant coverage.

### 3.6.1 Landscape Ratios (continued)

- For properties adjacent to open desert areas: cacti, agave, and yucca may account for up to 60% of the landscape plant coverage. Landscape designer shall provide calculations on plan submittals that show square footage of total area, softscape, hardscape, and percentage of each.

### 3.6.2 Natural Turf

**A**pplicant should refer to the City of Henderson for rules regarding natural turf. If installed, all natural turf must be a fescue blend, annual rye grass blend, or hybrid Bermuda developed for use in the desert. Common Bermuda grass is not permitted. No turf is allowed within 3' of any perimeter walls or curbs.

### 3.6.3 Synthetic Turf

**S**ynthetic turf is permitted at Front Yards but must be a high-quality product with realistic look and feel. Usage, manufacturer, and specific product must be indicated on the landscape plans and will be considered for approval by the DRB. The proposed product must meet the following criteria at a minimum:

- Color: Multi-color variation with simulated thatch
- Pile height: 1-1/2" minimum
- Pile Weight: 65 oz. minimum
- Permeability: > 100 inches per square yard
- Warranty: 15-year minimum

### 3.6.4 Plant Materials

- Plants shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be free of disease, insect pests, eggs or larvae and shall have healthy, well-developed root systems. They shall be free from physical damage or adverse conditions that would prevent thriving growth.
- Container-Grown Stock: Healthy, vigorous, well-rooted plants grown in a container, with a well-established root system reaching sides of container and maintaining a firm ball when removed from container. Container shall be rigid enough to hold ball shape and protect root mass during shipping and be sized according to ANSI Z60.1 for type and size of plant required. Soil in the containers shall be free of disease and pathogens.
- The mature size of the plants and trees must be considered so as not to encroach upon view corridors and adjoining properties. A copy of the View Policy is available from the SouthShore Residential Community Association and should be utilized as a guide in the development of the design.

### 3.6.4 Plant Materials (continued)

- Areas that have been previously landscaped shall be protected from damage during construction. Any damage by the Homeowner's Contractor shall be promptly replaced with plant materials of the same size, quality, and species.
- All trees, shrubs and other plants to be maintained properly. Dead or dying plants must be promptly replaced. Landscape maintenance will be required in the off-season to remove all dead or frost damaged growth, leaf litter, or other debris.
- Plant material shall be installed according to acceptable horticulture practices and in a matter that will maximize chances of survival.

### 3.6.4.1 Trees

- Trees are to be selected first according to caliper size and second by the box size. Sizing shall be in compliance with the Arizona Nursery Association Recommended Tree Specification standards or the ANSO American Standard for Nursery Stock. If tree type is not identified in the previously mentioned Nursery Standards, final approval of tree sizes will be at the discretion of the DRB. The applicant is welcome to consult with the DRB before trees are planted if there is a concern about the interpretation of this guideline.
- The minimum number of trees required is as follows:
  1. Front Yard: 2 trees minimum, regardless of front yard area.

*Large Trees*: 1 tree for every 1,000 SF of total yard area, including hardscape areas.

*Accent Trees*: 1 tree for every 1,500 SF of total front yard area, including hardscape areas.
  2. Side Yard: 1 tree minimum for each side yard, regardless of side yard area.

*Large Trees*: 1 tree for side yards that exceed 1,500 SF of total side yard area, including hardscape areas.

*Accent Trees*: 1 tree for every 1,500 SF of total side yard area, including hardscape areas.
  3. Back Yard: 2 trees minimum, regardless of back yard area.

*Large Trees*: 1 tree for every 1,500 SF of total back yard area, including hardscape areas.

*Accent Trees*: 1 tree for every 1,500 SF of total back yard area, including hardscape areas.



*Group trees, shrubs and ground cover in a manner that complements the individual home design while creating varying heights and textures.*

### 3.6.4.1 Trees (continued)

- Trees used to meet the above requirements shall be 48” box minimum size for front yard and 36” box minimum size for the side and rear yard. Accent trees shall be a minimum 24” box size.
- Palm trees and Joshua Trees shall have a minimum 6’ BTH (Brown Trunk Height).

### 3.6.4.2 Shrubs, Ground Covers, and Accent Plants

- All Shrubs and Accent Plants (grasses, cacti, agave, yucca, etc.) shall be installed at 5-gallon minimum size.
- At least 50% of all Ground Cover Plants shall be installed at 5-gallon minimum size, unless otherwise approved by the DRB.



*Use of a diverse plant palette at the site perimeter transitions the development with the existing vegetation.*



## 3.7 IRRIGATION

### *Objectives*

- To minimize the amount of landscape irrigation required through water sensitive landscape design.
- To utilize irrigation systems which provide efficient water coverage and minimize water usage and runoff.
- To ensure adequate levels of irrigation using automated systems to promote optimal plant growth and establishment of mature landscape.

### *Guidelines*

- All landscaped areas within the Lots must be irrigated. The use of drought tolerant plants, combined with minimal irrigation is encouraged to be the basis of all landscape submittals. Except for the turf and some groundcover areas, where overhead or micro spray systems are more practical, the use of automatic underground drip irrigation system is strongly encouraged in all landscape areas to ensure the establishment and sustainability of the landscape.
- Plant materials should be grouped according to their water consumption needs.
- All irrigation systems will utilize automatic, programmable controller to maximize efficiency. The HOA reserves the right to suggest appropriate adjustments to the watering cycle, volume and duration.
- The irrigation system must be designed and installed to preclude over-spray or runoff into the neighboring parcel, Common Area or onto the adjacent pavement or walls.
- Irrigation systems must be designed in accordance with any/all applicable local regulations.





### 3.8 ROCK MULCH AND BOULDERS

- Non-turf planting areas shall be covered with a minimum 2” deep layer of rock mulch material. Bare soil is not permitted. If weed barrier is used, it must be permeable to air and water. No more than two rock colors or sizes may be used in any yard. Size and color of rock mulch must be identified on the Planting Plan.
- Boulders may be used when appropriate to the particular site and setting. Boulders to be granite and round in shape, unless otherwise approved by the DRB. Boulders should be buried so that 1/3 of their mass is below grade and generally shall be installed in groups of two or more to appear as natural rock outcropping. No single boulders allowed unless large enough to present a good appearance.



*Blending a variety of trees , shrubs and decorative grasses with boulders helps create privacy while blending the house with the site.*



## CHAPTER FOUR



### *Architectural Design Guidelines*



#### *Architectural Design Objectives*

The following are the main objectives for architectural design at SouthShore:

- To create homes appropriate to and in harmony with the existing Lake Las Vegas environment and lifestyle.
- To create homes that, through their design, massing and materials, convey a sense of timelessness, permanence and quality.

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For detailed information regarding architectural guidelines, please make an appointment with the DRB. Take advantage of the numerous reference books available on the subject of Tuscan and Mediterranean-inspired villas and residences to assist in establishing initial design direction.



#### 4.1 ARCHITECTURAL CONCEPT, INTEGRITY & QUALITY

The overall image/theme of SouthShore and the Lake Las Vegas Resort is defined as a blend of Tuscan and Mediterranean inspired architectural styles. Architectural character shall draw from the diverse colors, forms and materials of the defined Tuscan/Mediterranean styled theme. Simple architectural forms and shapes with variations in height, depth and thickness shall be encouraged along with a level of ornament and articulated massing appropriate to an architectural style inspired by the theme.

Although these guidelines are not intended to dictate a specific architectural style for SouthShore, they are crafted to promote architectural solutions that are innovative, of the highest quality, appropriate to the surrounding environment, and respectful of the context of the area. It is the intent of the Lake Las Vegas Resort and SouthShore to encourage individual interpretations of Mediterranean derived architecture with overall community wide continuity. This architectural integrity expresses itself through designs that:

- Utilize natural materials in accordance with their physical nature and structural capabilities.
- Utilize materials and construction techniques that convey a sense of permanence and durability (stone and masonry for example).
- Take maximum advantage of SouthShore's varied and dramatic settings and views, while respecting the local climatic conditions.
- Are respectful and sensitive to views and vistas from existing and potential development sites throughout the Community and the Resort.
- Are respectful of site context and the Community as a whole.

Quality of finish materials and workmanship will be strictly enforced by the DRB from the initial approval process through the completion of construction. To achieve buildings that possess architectural integrity, the DRB will be evaluating submissions based upon the following qualitative criteria described below, as well as specific or absolute requirements (such as building height) described in these Guidelines and within the Development Standards.

#### 4.1.1 Site Context and Integration

Homes at SouthShore are to be understated expressions of the Owner’s personality, while being a “good neighbor” and helping to create a unified Community image. Proper siting within the Building Envelope, sensitive exterior finish material selection and appropriate landscape that extends and complements the existing Community landscapes all combine to achieve this goal.



*Lakeside & hillside homes well integrated within the context of the community.*

#### 4.1.2 Scale

A building’s scale is critical to understanding how the home fits within the Community. The DRB will review the home’s scale relative to the size of the Lot and Building Envelope, vertical massing and proportion of 1-story to 2-story elements. Owners and their designers should be mindful of the overall scale of the home as it relates to human scale as they move through the design process. Building masses that are primarily room-sized volumes are strongly encouraged.

#### 4.1.3 Proportion

Each design element (e.g. materials, walls, roofs, trim, etc.) of the home has an inherent proportional relationship to each other and to the overall design, creating a balanced composition. Exaggerated or overly stylized elements should be avoided.



*Varied scales, proportions and colors add the rich design quality desired for the community.*

#### 4.1.4 Color

Color is an important aspect of arid-climate architecture. Homes utilizing a design approach that includes consideration of color at an early stage are able to employ more sophisticated compositions than those that view color as an application at the end of the design process. Within the context of the overall Community, a wide range of recessive and warm toned color applications are encouraged, creating a diversity of color use that adds character to the Community.

#### 4.1.5 Rhythm and Balance

These guidelines encourage the harmonious recurrence of building forms, elements, materials or color to create a sense of serenity and balance in the architectural composition. The rhythm of the architectural elements may be sequential, concentric or random.

#### 4.1.6 Texture

A greater amount of light reflects off of smooth surfaces in the desert sun. Bold texturing can be equally disruptive, visually. Accordingly, a rich and varied palette of textures created by random patterning and varied materials is desired to minimize the reflectivity of walls and roofs.

#### 4.1.7 Shade and Shadow

Large scale texturing of a building may also be achieved by shade and shadow. A series of transitional spaces, such as trellises, overhangs, porticos, deeply recessed doors and windows, balconies, courtyards or casitas, help create visually rich compositions, providing weather and sun protection and establish strong indoor/outdoor relationships throughout the home.



*By varying planes and masses, the house casts various shadows, adding visual and design interest. The recurrence of the three arched openings create a harmonious rhythm.*

#### 4.1.8 Appropriateness

The degree of individual design expression will be measured relative to the home's context and the overall aesthetic goals for SouthShore. A design deemed inappropriate may not be a reflection of the quality of the design, but may be considered too individualistic or object-oriented and therefore inappropriate.

#### 4.1.9 Material Authenticity

Building materials should be used as honest expressions of their function, structural capabilities or regional context. This generally means utilizing natural materials over "manufactured" materials, with exception for those manufactured materials the DRB has deemed of acceptable quality in replicating the natural material it is emulating.



## 4.2 CUSTOM AND MERCHANT-BUILT ARCHITECTURAL CRITERIA

### 4.2.1 Architectural Standards

For setback criteria, please refer to the matrix in Section 2.3 of the Development Standards. Additional and more restrictive standards may be applicable to each individual development parcel as shown on the following charts for parcel-specific setbacks. See the DRB for lot-specific requirements and plot maps.

#### 4.2.1.1 Building Massing

If there are differences among the massing requirements of the Development Standards, the lot-specific requirements provided by the DRB, or the requirements of these Design Guidelines, then the most restrictive standards shall apply.

In general, primary masses of the building should be composed of simple, rectangular-volume building forms in varied compositions of one-story and two-story elements, with larger masses concentrated at the center of the house. Round or circular masses may also be incorporated. However, these round masses are typically reserved for secondary or featured mass elements.



*Designs that break up the massing of the home into several distinct volumes are strongly encouraged*

This varied massing shall be expressed

both horizontally and vertically, punctuated and articulated by porticos, varying levels, offsets, deep set windows and doors, and building projections such as pergolas.

Primary massing characteristics shall include the following:

- Massing shall reflect room-sized volumes or groups of masses rather than one dominant mass. If an architectural style or design that relies upon a single, dominant mass is proposed, the applicant must demonstrate that the mass blends in with the character of the area, when viewed from neighboring lots, shoreline, Common Areas or the golf course, and supports the aesthetic objectives of the Community.

#### 4.2.1.1 Building Massing (continued)

- One- and two-story articulated massing with multiple roofs emphasizing the proportions appropriate to the Tuscan/Mediterranean-inspired style.
- The maximum height of thirty-two feet (32'), per the Lake Las Vegas SouthShore Residential Development Standards, refers to two-story homes only. Single-story homes are limited to twenty-four feet (24') maximum, at the discretion of the DRB, while twenty-one feet (21') maximum is the DRB preference. Some lots have single-story height restrictions. Refer to the DRB provided lot-specific diagram for more information.
- Each building shall be constructed as a series of visual building masses. Each residence shall be constructed with at least three (3) visual building masses as viewed from any elevation with four (4) visual masses being preferred on larger homes/lots.
- Garages set in front of main buildings should be one story.
- Second stories are recommended to be set back from internal streets to help create a human scale. If no second story setback is provided at the street side, then the applicant must demonstrate that the form is not imposing upon the pedestrian realm by incorporating other elements that buffer or otherwise create a human scale at the street.
- Building designs shall incorporate varied projections such as wall offsets, trellises, covered porches or verandas that create texture, shade, scale and visual interest. Where these elements project more than three feet (3') from the plane behind it, they should be incorporated into the overall massing envelope.
- Wall planes in general are to remain simple and flat, while emphasizing their depth by the use of deeper, recessed openings.



*Examples of appropriate massing, exterior wall material and color detailing.*



#### 4.2.1.1 Building Massing (continued)

- Generally, building ridge lines or side walls shall not exceed 50 feet in one direction without a change in roof alignment, wall or elevation offset, or broken by an appropriately scaled architectural element such as a chimney.
- Where setbacks less than ten feet (10') are allowed, the DRB preference is to provide a maximum of 50% of the side yard wall located at the minimum setback line. A ten foot (10') side yard setback is the DRB preference over the lesser setback requirements, where lot configuration allows.
- Low-pitched roofs (not exceeding 5:12 but not less than 3:12) are to be predominantly hipped in form, punctuated by occasional gable ends as accents where appropriate in the overall design composition. Where lesser pitched roofs are required, appropriate parapet walls must be used.
- The play of light and shadow between building masses shall be carefully formulated to articulate masses, accentuate entries and/or building levels and to create texture.
- Buildings shall be designed to be viewed from all sides. Screening and/or designing service areas as integral parts of the overall architectural composition are required.
- Entries are encouraged to be recessed and articulated with overhangs, porches and/or courtyards. Entry elements shall be in scale with the home. Dominant or overly stylized entries shall be avoided.
- Detached garages which incorporate pergolas or trellises to connect to the main residence are encouraged to help avoid large bulky forms.



*Appropriate massing incorporates two-story volumes with secondary single-story “wings.” Design quality is further enhanced by combining hip and gable roof forms.*

#### 4.2.1.2 Accessory Structures

If provided, accessory structures (e.g. casita, guesthouse, pergola/shade trellis, etc.) must meet all setback criteria. The structure must maintain design continuity and overall aesthetic appearance of the main structure. Any accessory structure must be carefully designed to fit with the architecture of the main residence in massing, scale, materials, detailing and color.



*Accessory structure must match design quality and aesthetic of the main residence.*

Development criteria and requirements which will be considered by the DRB for approval are essentially the same as those of primary residential structures. Any accessory structure should be located and designed to respect the views, privacy and other aspects of the adjacent properties.

#### 4.2.1.3 Service Areas and Utility Entrance Locations

Service yards are intended primarily for storage of trash, maintenance tools, pool, air conditioning, irrigation and other similar mechanical equipment. The design should locate units so as to minimize noise associated with the operation or maintenance of air conditioning units. Six foot (6') high minimum masonry walls are required around service yards. Trash storage can be located within the garage. Air conditioning equipment does not have to be within a service area, but must be screened from view at the front from the street.

Electric meters and panels, gas meters, sub-panels, telephone and television entrance panels, air conditioning units, pool equipment and similar items must be out of sight when viewed from the golf course, street, lake, or any other property. They are preferred to be located in service yards, mechanical rooms, or meter closets. Location of each must be approved by the respective Utility Company.

The interior of enclosed service yards must not be visible from the street, golf course, lake or adjacent properties.

## 4.2.2 Residential Exteriors

### 4.2.2.1 Exterior Walls, Materials & Color

Design Objectives:

- The design elements of a house (e.g. materials, walls, roofs, trim, etc.) shall be compatible and complementary to each other, and must adhere to the design guidelines.
- Exterior treatments shall be consistently detailed around the entire house
- All materials used on the house shall enhance and meet the objectives of the Design Guidelines.
- All detail and ornamentation shall be detailed and proportionately appropriate to the Tuscan/ Mediterranean-inspired style.

#### Exterior Wall Design:

In general, the exterior wall design of all Residences and Improvements may incorporate two different complementary materials in order to create subtle textural changes and to further articulate masses. Exterior walls of a single material may be acceptable if, in the opinion of the DRB, they meet the requirements of these Guidelines, are consistent with the Community's aesthetic goals and are appropriate to the particular architectural style.

The minimum exterior wall thickness should allow most windows and doors to be recessed a minimum of three and one-half inches (3½"). Six inches (6") of recess is preferred at exterior walls facing the street, shoreline and golf course. Walls should be simple, refined compositions of one or two materials in a logical structural relationship and consistent in material use within the architectural design. Changes in material should not occur on the outside corners of masses. Material and/or color changes at the outside corners of buildings are prohibited.



*Recessed door and window openings reinforce the architectural integrity by indicating that the exterior wall has bulk and thickness.*

#### 4.2.2.1 Exterior Walls, Materials & Color (continued)

##### Materials:

Materials should be consistently applied and should be chosen to work harmoniously with adjacent materials. The main building walls or adjacent structures shall be stucco or stone.

Stucco may be utilized for foundation elements or full height walls. Stucco finishes shall be smooth, hand-troweled finish, skip-trowel finish or light-sand float finish. Walls should have a “handcrafted” appearance, utilizing light to medium texture. Spanish Lace and other heavy textures are prohibited.

Natural stone is preferred; however contact DRB for list of acceptable manufactured stone products. Stone may be used as a foundation element with plaster/stucco walls above; as full height walls when used as the predominant wall material or as a foundation base; and/or as an accent around doors, windows or wall openings. Preferred styles are either a dry-laid, semi-coursed rough-cut stone with a structural appearance or



*The blending of natural materials such as wood and stone helps to create a harmonious design.*

un-coursed stone with minimal grout showing. Stone shapes, coursing and jointing shall be rustic in appearance. Other styles considered, such as over-grouting, shall be submitted to the DRB for review. Thin stone veneers applied in geometric or random patterns that are not structural in appearance are not permitted. Where stone veneer is used, it must simulate the use of stone laid in a structural manner.

The use of wood as the primary or main exterior finish material is prohibited (e.g. wood siding). Wood is an acceptable material as an in fill or accent material. Wood trim is generally used in corbels, lintels, porches, trellises, columns, rafter tails and other similar architectural elements. Due to climatic extremes, the use of wood details should be carefully considered. Manufactured, faux finished materials to emulate wood will be considered by the DRB if proposed usage is in adherence with the high-quality design standards.

#### 4.2.2.1 Exterior Walls, Materials & Color (continued)

##### **Materials: (continued)**

Gutters and downspouts of weathered copper are permitted. Aluminum gutters, or other materials than copper, are permitted but shall be painted to match the home. Chimney caps are an extension of the overall design and must be carefully considered. Unconcealed metal chimney terminations are not allowed. Use of terra cotta, masonry, or fabricated sheet metal enclosures is required for metal chimneys. Masonry chimneys must provide a detailed termination.

##### **Color:**

**E**xterior building wall colors must use warmer tones to blend into the color hues of the Lake Las Vegas environment. Large areas of monochromatic surfaces tend to stand out in the bright sunshine. As a result, colors that have “tonal complexity” should be employed. With certain materials, such as stucco, this multi-hued quality may be achieved through surface texture and quality.

The DRB will consider color in the context of the entire Community as well as the individual Residence for submission.

Accent colors are for use on architectural details such as ceramic tile, canvas awnings, wrought iron work, wood accents, lighting fixtures, etc. A complete accent color list has been pre-approved. Additional colors within this range must also be approved by the DRB. A mock-up sample of up to 20 square feet is required for review in the field for colors not selected from the pre-approved list of colors.



*Designing and detailing by incorporating a variety of materials, colors and textures helps to enhance the level of design sophistication.*

#### 4.2.2.1 Exterior Walls, Materials & Color (continued)

##### **Color (continued):**

The following additional guidelines apply to all exterior surfaces of the house, including walls, parapets, roofs and all related fences and walls:

- No exterior materials used should have a high gloss, glare or reflective “mirror” type finish.
- Color application should be used consistently throughout each Home for all the building(s) and related outdoor areas and/or structures.
- Colors for large field application should be a combination or layering of two or three colors to achieve a “multi-hued” quality that changes with light and shadow, rather than a “flat” appearance. Large, monochromatic surfaces, with the exception of flat roofs, are not acceptable.
- In general, colors for roofing should be darker in color or hue than the building’s exterior walls.
- Accent colors should be carefully considered for front doors, window sashes and other architectural elements so that they do not dominate or overwhelm the overall color composition.
- Exterior hardscape colors should be complementary to exterior home colors.
- Changes in exterior wall color should be made at “interior” intersections of walls and should relate to the visual building mass. Material and/or color changes at the outside corners of buildings are prohibited.
- Submittal of a material/color board to the DRB is required as part of the design review process.



*Color adds diversity and visual interest when viewed in context with the surrounding community.*

#### 4.2.2.2 Roof Design

All roofs shall be carefully designed in color, material and shape so that they help to integrate the structure with the site and neighboring houses while also minimizing the overall building massing. Trellises and other outdoor covered areas shall be incorporated into the overall massing to avoid a “tacked on” appearance.

Low-pitched roof forms are required and may include gable, hip, and/or shed roofs (for minor building elements). These low-pitched roof forms reinforce the traditional forms and scale of the landscape. Mansards, barrel vaults or other architectural elements/roof forms which are not an integral and harmonious part of the overall house design are not acceptable.

Flat roofs may be allowed, upon DRB discretion. Visibility from the Common Area, Shoreline, Golf Course or other residential lots shall be considered and additional screening may be required to reduce visual impact. Roof terraces may be allowed, upon DRB discretion, provided that it enhances the architectural profiles of the proposed residence and does not encroach upon the privacy of neighbors.



*Varying roofs types & plate heights help to express the varied mass of the home.*



*Roof material shall have color and textural variation within the product to further add design appeal & sense of timelessness.*

#### 4.2.2.2 Roof Design (continued)

The following additional, detailed guidelines apply to roof design and roof related elements:

- Roof slopes shall be no more than 5 in 12 pitch (5:12), nor less than 3 in 12 pitch (3:12). See Building Height section in “Lot and Setback Matrix” in the Design Development Standards for maximum ridge line elevations.
- Roofs shall be clad in non-glossy materials that are of colors that blend with the adjacent natural environment. Allowable roofing materials are copper and clay. Slate may be an acceptable roof material if the product is submitted to and approved by the DRB. Painted metal roofs, reflective tile, concrete tile and plain red roof tile are not acceptable.
- One-piece “S” tiles are not acceptable unless they consist of a minimum of a three (3) color mix. Four (4) color mixes are preferred and may be required upon review by the DRB depending upon roof forms and visibility. Tile roofs are encouraged to incorporate mortar boosts and mortared bird stops.
- Eaves shall be incorporated where appropriate. Exposed rafter tails with exposed wooden soffits are encouraged on sloped roof designs.
- In general, pitched roof fascias should be 6 inches or greater, being of sufficient design to support a gutter.
- Large, plain, under-detailed stucco fascias are strongly discouraged.
- Gutters, if used, shall be incorporated into the overall design of the house. Gutters and downspouts shall not appear as if they were “tacked on.” Non-extruded, half-round gutters are preferred.
- Mechanical equipment should not be located on roofs. Ground mounted equipment is preferred. Equipment must not be visible from any other property.
- Sheet metal trims and flashings shall be kept clean and simple keeping exposed metal to a minimum and generally should be painted to blend in with the adjacent material(s). Unpainted or patina copper is acceptable.
- Skylights may be incorporated into the roof design, provided that they are integrally designed into the structure and are not obtrusive. White fiberglass skylights are prohibited.
- Plumbing vents shall be ganged and located in a way such that the minimal numbers of vents are exposed to the shoreline, golf course or street and must be painted to blend with the roof. The placement of vents in false chimneys is strongly encouraged. Dormer venting is not acceptable. Ridge and soffit venting are preferred and must be painted to match the primary color of the residence.



#### 4.2.2.3 Windows and Door Openings

Windows and doors are encouraged to be deeply recessed and shaded to create pattern, texture and lend a sense of thickness to the walls. Careful consideration should be given to the fenestration design for each elevation. The size, number, placement and rhythm of windows and doors in relation to the building masses and exterior surfaces should create a complete and balanced composition.

Windows and doors shall consist of wood, wood-clad, or metal with powder-coated or anodized matte finish. White window and door trim, unfinished aluminum, vinyl or shiny materials are not permitted. Alternate window and door materials may be considered if submitted to and approved by DRB. Doors, window and door frames may be stained and/or painted.

Wood, decorative tile and masonry are acceptable trim materials and should be used in a consistent manner at all elevations around the house.



### 4.2.2.3 Windows and Door Openings (continued)

#### Windows - General Parameters:

- Windows should primarily be rectangular and vertically oriented.
- Square windows are permitted, but should be limited in use.
- Arched-top and circular windows are permitted, however their usage should be carefully considered in the design composition as an accent only. Arched-top windows shall conform to the ratio standards described above, by measuring height to the top of the arch.
- If windows are grouped together, providing a 6” x 6” post or wall element is encouraged.
- Individual window units shall not exceed 4’-6” in width. Larger areas of glazing may be permitted by the DRB when the windows are integrated in a harmonious and well-designed facade. Where used, large windows are encouraged to be designed in conjunction with an arcade, loggia, trellis or other overhang element in order to further create visual interest. In order to maintain proportionality, these overhang elements are typically 3’ to 10’ deep. The location of a picture window is also subject to DRB approval.

- Recessed windows should be recessed a minimum of three and one-half inches (3½”) while six inch (6”) or greater recesses are preferred at front elevation. Street (front) and golf/lake (rear) elevations should incorporate recessed windows.



*Window design variety is obtained by the use of colored frames, shutters and enhanced sill/header detailing.*

- Window trim design and detailing shall be consistent at all elevations around the house.
- Divided lite windows that use true divided lites are preferred, while windows with snap-on muntins are strongly discouraged.
- Wood, clad wood or steel hinged casement windows or fixed casement windows are required. Alternate window types (e.g. double-hung, awning, etc.) may be considered by DRB based upon design constraints.
- Window frames are strongly encouraged to be a color other than white.
- Glass block and horizontal bathroom “gun slot” windows that are visible to other properties are prohibited.
- Mirrored glass is not permitted.

### 4.2.2.3 Windows and Door Openings (continued)

#### Doors:

- Special consideration should be given to the entry doors and hardware. The entry should be a very special design feature complementary to the architectural design.
- Single doors with side windows are encouraged.
- Enriched doorway treatments may be accented by classical tapered columns, pilasters, or molded stone surrounds if appropriately detailed to the style of the house.
- Single or double door units of paneled, naturally stained wood, metal and/or multi-paned glass doors are acceptable.
- Door designs should be consistent with each other, utilizing similar jamb, head and panel designs at all elevations around the house.
- Large, glazed pocketing or sliding doors may be permitted by the DRB when the doors are integrated in a harmonious and well-designed facade. Where used, these doors are encouraged to be designed in conjunction with an arcade, loggia, trellis or other overhang element in order to further create visual interest. In order to maintain proportionality, these overhang elements are typically 3' to 10' deep.

#### Garage Doors:

- Garage doors are to be of a complementary level of design as the house and are to have the appearance of wood doors. Garage doors may be constructed of wood or metal. Any exposed hardware shall not be of a highly reflective material or finish.
- Garage doors shall not have windows.
- Roll up panel, or sectional doors, are required.
- Garage doors are to be recessed from the adjacent wall surface. A recess of 18" minimum is encouraged.
- Separating three-car garage masses into smaller facades/masses is preferred. (e.g., three (3) single car garage doors, one (1) single car garage and one (1) two-car garage, etc.)



*Undulating the planes of the garage doors and adding richness in detail and material enhances the facade and reduces the impacts of having the garage face the street.*

#### 4.2.2.4 Balconies and Terraces

- If used, Juliet balconies or broader verandas on both the front and rear elevations must be integral elements and appropriately scaled.
- Balcony railings shall be wood, metal, wrought iron, etc. and must be consistent in character and detail with the rest of the structure.
- Cantilevered balconies are discouraged, but if used must be detailed consistent in character and detail with the rest of the structure and can only project a maximum of three feet.

#### 4.2.2.5 Mailboxes

All mailboxes shall be of a style and location as required by the DRB. Mailboxes in the custom residential areas shall be paired on common lot lines within a single pedestal. In only those instances where pairing is not possible will single boxes be allowed. The pedestal is to be inlaid with Chocolate Hualapai Stone veneer and dimensioned as shown in Appendix D.

The first custom lot builder to require mail delivery to a shared mailbox will construct the entire unit and retain the construction receipts. The second Owner must reimburse the first Owner in accordance with the CC&Rs.

Custom variations of the standard mailbox design will be considered, but must be submitted and approved by the DRB and sharing neighbor, if applicable.

#### 4.2.2.6 Street Damage

If any owner, either while constructing or remodeling a home, for any other reason whatsoever, shall remove or damage any portion of SouthShore streets, such streets shall be repaired at owner's cost as set forth in Appendix C.



*Balconies and terraces are another opportunity to break up massing.*



*Custom mailboxes are another design opportunity that enhance the Community*



## 4.3 EXTERIOR LIGHTING

### 4.3.1 Introduction

Lake Las Vegas' intent in this lighting section is to provide goals, criteria and guidelines to accomplish safe light levels that allow the view of stars at night, as well as keep artificial exterior light to levels not exceeding that of a full moon, while at the same time integrating safety, functionality and security.

### 4.3.2 Lighting Design Goals

Lake Las Vegas clearly understands the desire of owners to provide task and landscape lighting. However, if not correctly designed, lighting can be detrimental to the South Shore goal to be a low light community, as well as being obtrusive to the adjacent owners. The goals of Lake Las Vegas lighting design are:

- To provide the minimum light necessary on the exterior of the structure while preserving safety and security.
- To provide landscape lighting at no more than a “full moon” level with lighting focused down, not up.
- To prohibit light trespass from one property to adjacent properties. Light trespass occurs when unwanted light enters a neighbor’s property, for instance, by shining over a fence. Light that is highly visible from neighboring properties is considered a light trespass. A common light trespass problem occurs when a strong light enters the window of a home from the outside, causing problems such as the blocking of an evening view. Light trespass can be reduced by selecting light fixtures which limit the amount of light emitted.
- For landscape lighting:
  - a) Only light areas as required for safety and comfort. Landscape lighting should provide no more than a “full moon” level with lighting focused down whenever possible, rather than up as is customary.
  - b) All landscape lighting shall be indirect and shielded to prevent light trespass onto adjacent lots and streets. Use “full cut off” or “fully shielded” designated fixtures when possible. Exposed bulbs, flood lights, spot lights, reflectors, and lenses are prohibited.
  - c) Fixtures that provide “white” light are prohibited. Use fixtures with bulbs or lenses that cast a yellow light when illuminated (3300K or warmer). Colored lights or filters are unacceptable.

### 4.3.2 Lighting Design Goals (continued)

- d) Maximum output per landscape light fixture is twenty (20) watt halogen lumen output equivalent or three hundred (300) lumens. The installed total landscape lighting may not exceed an average of ninety (90) lumens per one hundred (100) square feet.
- e) Walkway path lights shall use down lighting and spread lighting. Bollard type fixtures are prohibited.

### 4.3.3 Criteria and Guidelines

- For landscape lighting, the use of 12-volt bayonet lamps, MR-16 lamps and PCP-26 Group “E” lamps are allowed. The maximum brightness of any single bulb is 450 lumens (equivalent of a 35 watt incandescent bulb). Walkway path lights shall use down lighting and spread lighting. Bollard-type fixtures are prohibited. Tree down lighting is encouraged and tree/shrub up-lights shall be limited to one light per tree and will be properly shielded to prevent light trespass.
- Exterior architectural lighting is prohibited. Exterior Architectural Lighting causes permanent illumination of a building. Functional and/or lighting does not fit this definition.
- Functional and/or task lighting is generally used for a specific reason such as lighting an entrance, doorway, patio, deck or other outdoor use areas. Lighting in these areas should be adequate to complete the task and should be in use when the area is occupied. Safety of the occupants is an important role of task lighting.
- Entrance feature lighting is allowed, however, the following must be adhered to:
  - a) Exterior “can-type” recessed eave lighting is prohibited.
  - b) Exterior coach lights and sconces are allowed if they light entries and/or patios.
  - c) Fluorescent lights are prohibited on the exterior of the structure.
  - d) The maximum brightness of any exterior fixture is 850 lumens (equivalent of a 60 watt incandescent bulb). Lower brightness is encouraged when multiple fixtures are close in proximity.
  - e) Exterior lights which might be highly visible to adjacent Owners need to be shielded.

### 4.3.3 Criteria and Guidelines (continued)

- Exterior task lights are encouraged to be on only while each functional area is in use. Therefore, they should be placed on multiple circuits to provide maximum flexibility in usage and should be placed on a timing device.
- Motion sensor lights are allowed with the following requirements:
  - a) A maximum of one motion sensor light per home elevation (one in each side yard and one in the rear yard). Side yard motion sensor lights must be installed at a level and located and shielded from the neighbor's view. This is to help minimize the impact of light trespass to your neighbor. The rear yard motion sensor light must be indirect and shielded to prevent light trespass onto adjacent lots and streets. The Master Development Review Board may require an alternate location if it deems necessary.
  - b) The maximum wattage per exterior light fixture (allowed per the guidelines) is sixty (60) watts or eight hundred (800) lumens. Lighting should cast a warm yellow light, no "white" light such as fluorescent is allowed.
  - c) All motion sensor lighting must be approved and inspected. Motion sensor lighting that has the motion sensor deactivated or is left on, will be in non-compliance and asked to be removed. Motion detection needs to be set at one-minute intervals or less.

#### 4.3.4 Over-Illumination

- Lighting designs should maintain low light levels in all areas of the property. This can be accomplished by:
  - a) Using timers or other controls to extinguish lighting when not needed.
  - b) Proper design by specifying maximum levels of light needed for a given task.
  - c) Choice of fixtures, or light bulbs, which direct light into areas as needed.
  - d) Selection of hardware to utilize minimize the energy needed to accomplish the lighting task.
  - e) Training of occupants to use lighting system(s) efficiently.
  - f) Lighting maintenance to prevent increased stray light and energy costs.
- As part of the DRB Final Plan Conformance Inspection, the Owner will schedule a night field inspection of all exterior lighting with the DRB. The purpose of the inspection is to field check any light trespass, light levels, and timing cycles. The Owner may be required to reduce lamp wattage/ lumens and/or install a non-adjustable dimming device to bring the exterior lighting into conformance.



*Lighting on the building and in the landscape should be a subtle enhancement, primarily for functional use at doors and outdoor living areas.*







## CHAPTER FIVE

### ❧ *Glossary of Terms* ❧

#### **Accessory Structure:**

A detached and subordinate building that is clearly incidental to, and located upon the same lot occupied by, the main building. Any accessory building shall be considered to be part of the main building by a common wall no less than four feet long, or when any accessory building and the main building are connected by a breezeway which shall be not less than ten feet in width.

#### **Arcade:**

A covered walk defined by a series of arches, columns or piers. See definition of loggia for additional information.



*Arcade/Loggia*

#### **Architect:**

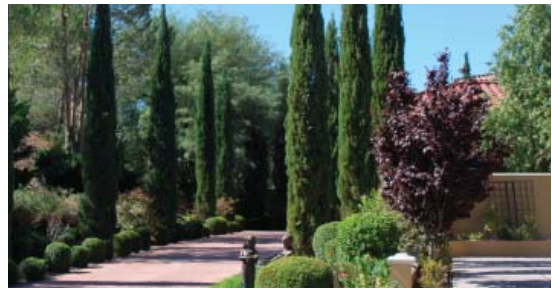
A person licensed to practice architecture or landscape in the state of Nevada.

#### **Articulated Pedestrian Path:**

Area paved and landscaped for the specific use of pedestrians and bicyclists, separate from any roads or streets.

#### **Auto Court:**

An area defined by walls or landscape used for vehicular parking and constructed of a high quality drivable surface integrated with the building design.



*Auto Court/Driveway*

#### **Basement:**

Any floor level below the first Story in a building. The Basement area is not included in the total allowable square footage provided such Basement does not exceed the square footage permitted for a one-story building. The floor above a Basement shall be limited to a maximum of three (3) feet above Finish Grade. A Basement shall not extend beyond the perimeter of the exterior walls defining the First Floor above or exceed the setbacks of the first floor building envelope.

## GLOSSARY OF TERMS (CONTINUED)

### **Builder:**

A person or entity engaged by an Owner for the purpose of constructing any improvement. The Builder and Owner may be the same person or entity. However, if the Owner elects to act as a Builder, a superintendent must be designated who will be accessible at all times during construction.

### **Building:**

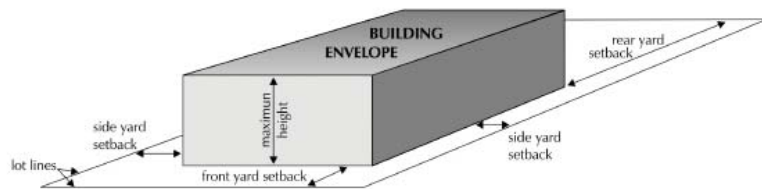
A structure having a single or common roof supported by columns or walls.

### **Building Coverage:**

The total area of a Lot covered by Building(s). Measured from outside of all exterior walls at ground level, it includes all exterior stairways, covered parking, covered terraces, “outdoor rooms” and walkways, terrace or pool/spa areas above-grade decks.

### **Building Envelope:**

The Building Envelope is the portion of the Lot on which habitable structures may be built and is defined by the building setback requirements and height limits defined in the Development Standards and/or CC&Rs.



*Building Envelope, Building Height & Setback Lines*

### **Building Height:**

The dimension measured from pad elevation to maximum roof ridge.

### **Building Massing:**

Massing equals the volume within which the residence may be built; length x width x height.

### **Building Pad:**

The area on which the building will be built. This is usually certified as compacted.

### **Common Area:**

A lot, or portion thereof, owned by Lake Las Vegas SSRCA, or over which Lake Las Vegas SSRCA has an easement.

## GLOSSARY OF TERMS (CONTINUED)

### **Community:**

All the property, and anything else that is part of the specific areas owned by private Lot Owners, Homeowners Association, Common Areas, and golf club within the boundary of Lake Las Vegas SouthShore.

### **Construction Activity:**

Any site disturbance, construction, addition or alteration of any building, landscaping or any other Improvements on any Construction Site.

### **Construction Documents:**

Architectural, landscaping and engineering plans, and any other documents as required by DRB or by the City if Henderson necessary to obtain a Building Permit.

### **Construction Site:**

The site upon which Construction Activity takes place.

### **Court/Courtyard:**

A space, open and unobstructed to the sky, located at or above grade level on a Lot and bounded on three or more sides by walls of a Building.



*Courtyard and Courtyard Walls*

### **Courtyard Walls:**

Low freestanding walls which define a Courtyard space.

### **Covenants, Conditions and Restrictions (CC&Rs):**

The regulatory document containing the Declaration of Covenants, Conditions and Restrictions for the Lake Las Vegas SouthShore Residential Community Association.

### **Design Guidelines:**

The architectural/landscape architectural design and construction regulations, restrictions and review procedures adopted and enforced by the DRB as set forth in this document and as amended from time to time by the DRB.

### **Design/Development Review Board (DRB):**

The group of three to five people responsible for reviewing and approving all Improvements within the Community and any revision or deviation from those Improvements.

## GLOSSARY OF TERMS (CONTINUED)

### **Development Standards:**

Standards established by Lake Las Vegas and adopted by the City of Henderson as requirements for construction, exterior additions, changes or alterations or installation of improvements with respect to setbacks, dimensions and size. Deviations from the Development Standards require that a variation be filed to the DRB and approved by the SouthShore Board and the City of Henderson.

### **Elevation:**

The elevation above sea level of the ground or pavement at stated location.

### **Excavation, Cut:**

Any grading on a Lot to a depth of one-half (1/2) foot or more.

### **Excavation, Fill:**

Any added soil, rock or other material that raises the elevation of the Lot by one-half (1/2) foot or more.

### **Existing Grade:**

See Rough Grade.

### **Exterior Stair:**

An open and unenclosed stairway from the ground floor to the Second Floor. Unroofed, cantilevered exterior stairs may extend into the building envelope setback a maximum of thirty-six (36) inches on a case by case basis as determined by the DRB.

### **Final Map:**

A map showing a subdivision of five or more lots, defining the dimensions of each lot and road within the subdivision.

### **Finished Grade:**

The elevation of the Lot as graded by the Lot Owner and is in conformance with the Owner's Grading Permit, as issued by the City of Henderson.

### **First Floor:**

The First Floor is the floor surface level of a first Story. The First Floor is synonymous with the ground floor.



*Exterior Stair*

## GLOSSARY OF TERMS (CONTINUED)

### **Floor Area:**

The sum of all horizontal Floor Areas of a building measured from the outside of all exterior walls and is a conditioned space.

### **Floor Area Ratio (FAR):**

The relationship between the total area of a lot and the total livable building square footage of the custom home on the lot, excluding any portion of a basement which is totally subterranean, any attic and up to 600 square feet of garage.

### **Garage:**

A garage is a building or portion of a building in which a motor vehicle is stored.

### **Garage, Subterranean:**

A subterranean Garage is a Garage located below the first Story of a in a Building. Exterior walls of Subterranean Garages shall not extend beyond the Building Envelope.

### **Hardscape:**

Inorganic, impervious building and paving materials placed on the ground to form a permanent driving or walking surface (e.g. driveways, walkways, patios, pool decks.)

### **Henderson Code:**

The Building Code or Development Code as adopted and approved by the City of Henderson City Council.

### **Homeowner:**

See definition of Owner.

## GLOSSARY OF TERMS (CONTINUED)

### **Improvements:**

Addition of a building or appurtenance of any kind to a lot. (Included, but not limited to, custom homes, non-habitable accessory buildings, shade structures, patio covers, awnings, barbecues, walkways, sprinkler pipes, drainage devices, garages, swimming pool, spas, recreational facilities, gazebos, game courts, roads, driveways, parking areas, fences, screening walls, retaining walls, stairs, decks, landscaping, slopes, exterior lighting, antennae, hedges, windbreaks, plantings, poles, signs, mailboxes, exterior air conditioning, solar panels, wind powered energy systems, and water softening fixtures of equipment.) Improvements shall also include but not limited to: a) all additions and/or exterior modifications to any lot or custom home thereon, b) the painting of the exterior of any custom home or other structure, c) changing the roofing material of any custom home or other structure, d) the demolition or destruction of the custom home or other structure, and e) the grading, excavation filling or similar work to the surface of a lot.

### **Landscape Architect:**

A person licensed to practice landscape architecture in the state of **Nevada**.

### **Loggia:**

A loggia is a covered Arcade or colonnade walkway, porch or gallery attached to the building, open on one or more sides. See definition for Arcade.

### **Lot:**

A portion of the Community, whether improved or unimproved, which may be independently owned and is intended for development, use, and occupancy as (i) a dwelling or (ii) a private amenity, and that is shown on a Final Map. The term refers to the land which is a part of the Lot as well any Improvements thereon.

### **Lot Diagram:**

An exhibit prepared by the Developer to illustrate lot size, dimensions, grades, easements and setbacks of record.

### **Owner:**

One or more persons, including natural persons, corporations, partnerships, trustee, or any other legal entities, who hold the recorded title to any Lot, but excluding in all cases any party holding an interest merely as a security for the performance of an obligation.



## GLOSSARY OF TERMS (CONTINUED)

### **Pad Height:**

The elevation of the finished grade of the building pad.

### **Planning Commission:**

The City of Henderson Planning Commission. A group of officials appointed by the City of Henderson City Council, having preliminary jurisdiction over all development within city limits.



*Porte Cochere*

### **Planning Department:**

The paid staff of the City of Henderson Planning Department.

### **Plate Height:**

The vertical distance, measured from the top of a slab or surface of a floor to the top of a structural bearing plate/wall.

### **Porte Cochere:**

A covered entrance or passageway large enough for vehicles to pass through, typically opening into a courtyard, driveway or auto court.

### **Portico:**

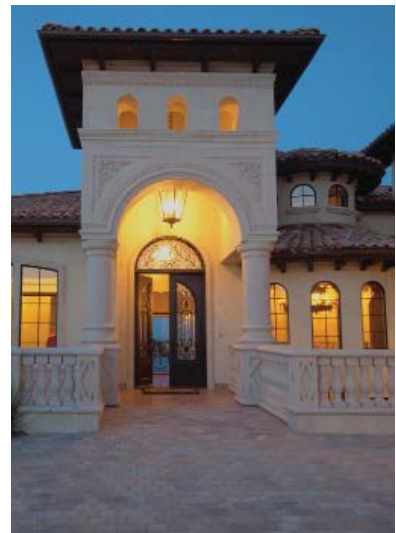
A columned or covered porch, often at the entrance to a Building.

### **Professional Consultants (to DRB):**

Design professionals under contract with the DRB to review all plans for conformance with the legal documents and to serve as advisors to the DRB.

### **Retaining Wall:**

A wall on which the elevation of the land on one side is more than 18” higher than the other side. This requires special engineering design and construction. (See City of Henderson Building Code)



*Portico*

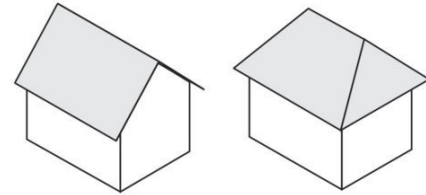
## GLOSSARY OF TERMS (CONTINUED)

### **Roof, Gable:**

A roof form consisting of only two sloping faces with a triangular-shaped wall at the end of the building.

### **Roof, Hip:**

A roof form consisting of only four sloping planes that intersect to form a pyramid or elongated pyramid shape.



*Gable Roof*

*Hip Roof*

### **Rough Grade:**

The Rough Grade is the ground elevation datum established at the time the Lot is Rough Graded by the Developer, and prior to a Final Grading by the Lot Owner. It is used to establish a Building Height limit as well as the Building Envelope.

### **Second Floor:**

The Second Floor is the floor surface of a second story.

### **Setback Line:**

A line within a lot, parallel to a corresponding lot/property line, which is the boundary of any specified front, side or rear yard and defines the limits of the Building Envelope. See Building Envelope.

### **Story:**

That portion of any Building (including Garage) included between the surface of any floor and the surface of the floor above it, or if there is no floor above, then the space between the floor and the ceiling directly above it.

### **Tract Map:**

A term synonymous with Final Map.

# CHAPTER SIX

## *Appendixes*



*Appendix A*  
*Lake Las Vegas SouthShore*  
*Residential Design Guidelines*  
*Setback Criteria*

**PLEASE REFER TO  
THE FOLLOWING PAGES  
FOR CURRENT LAKE LAS VEGAS  
SETBACK CRITERIA**

**FEBRUARY 2004**

**Parcel 19: Lots 28-35 and 39-50  
Via del Garda and Via Lido**

**Setbacks:** See attached Final Map for City minimums. Shall not exceed city minimum. Note: See Lake Las Vegas setback standards.

**Floor Area Ratio:** Shall not exceed 0.95

**Building Height:** See Attached city conditions. Maximum height 37 feet as measured by City standards.

**Architecture:** See attached typical elevations for Architectural Character

**Combining of Lots:** (Note: Two SouthShore Property Owners' Association/Master Association fees and two L.I.D. assessments will be required.

1. Floor Area Ratio must not be exceeded for combined lot.
2. Total sq. ft. of undeveloped area in setbacks will be the total of the two lots combined.

**Docks:** See attached.

DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 19

	LLV Guidelines Street Level	LLV Guidelines Basement
Side	7.5 ft <sup>(6)</sup>	5 ft <sup>(6)</sup>
Front	20 ft G <sup>(1)</sup> 15 ft H <sup>(3)</sup>	N/A
Rear	25 ft <sup>(3)</sup>	20 ft

- (1) Front setback of 15 ft. for side entrance garage.
- (2) The front setback is measured from back of curb or back of sidewalk if a sidewalk is adjacent to lot. A maximum of 60% of the house can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of structure. Large flat unmodulated buildings must be avoided.
- (3) A maximum of 60% of the basement (25 ft.) at the rear of the lot can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation. Large flat elements are not allowed.
- (4) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (5) The corner elevation must provide a consistent architectural element with the front and rear of the house.
- (6) Lots 7, 8 and 13 – 10 ft adjacent to street.

NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.

Maximum Building Height 24 feet above existing finished pad. (Single story only)

Lake Las Vegas Parcel 19 Lots 28-35 and 39-50 Via del Garda and Via Lido  
Setback Standards

Waivers Granted by City of Henderson City Council Approval PUD-TM-27-98

- a. Minimum lot width of 40 feet, and minimum lot size of 4,000 sq. ft.
- b. Maximum building height of 37feet.
- c. All two-story homes.
- d. Rear yard setback of 15 feet for the dwelling unit.
- e. Side yard setback of 3 feet for the living area of the dwelling unit (left side of the lot viewed from the street), zero feet for the garage portion of the dwelling unit (left side of the lot viewed from the street), and 0 feet for the optional golf cart carport/casita (right of the lot viewed from the street).
- f. Rear yard setback of 5 feet for patio covers with 50 percent rear yard coverage and no solid wall enclosing the rear yard.
- g. Maximum Floor Area Ratio of .95 for all lots less than 6,000 square feet.



**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 21**

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)
Side	5 ft. (4)	10 ft. (4)
Front	20 ft. (1) (2) (8)	25 ft. (2) (8)
Rear	15 ft. (3)	20 ft. (3)
Corner	10 ft. (7)	15 ft. (7)

- (1) First floor front setback of 15 ft. may be allowed for side entrance single-story element garage, or single-story element of dwelling; 2nd floor setback remains at 25 ft.
- (2) A maximum of 50% of the front 1st floor setback (15 ft. or 20 ft.) and 2nd floor setback (25 ft.) can be at the minimum required. The remaining must be setback an additional 5 ft. to provide modulation of structure. Large flat unmodulated buildings must be avoided.
- (3) A maximum of 40% of the rear 1st floor (15 ft.) and 2nd floor (20 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of 1st and 2nd floor elevations. Two story flat elements are discouraged.
- (4) The side elevation of the 1st floor and 2nd floor must provide modulation of exterior and roof lines, as well as avoid large flat elements.
- (5) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (6) The ratio of the second floor square footage to the first floor square footage may not exceed 50%.
- (7) The corner elevation must provide a consistent architectural element with the front and rear of the house.
- (8) Lots 9, 10, 11, 12, and 13 may have 10 ft. front yard setbacks for the 1st floor and 15 ft. for the 2nd floor.

**NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.**

**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 22, SIENA**

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)	City of Henderson Minimum Requirements (reference only)
Side	10 ft. (4)	15 ft. (4)	5 ft.
Front	20 ft. (1) (2)	25 ft. (2)	20 ft.
Rear	20 ft. (3)	25 ft. (3)	15 ft.
Corner	15 ft. (7)	15 ft. (7)	10 ft.

- (1) Front setback of 15 ft. for 1st floor side entrance garage, 2nd floor setback remains at 25 ft.
- (2) The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot. A maximum of 50% of the Front 1st floor (20 ft.) and 2nd floor (25 ft.) can be at the - minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of structure. Large flat unmodulated buildings must be avoided.
- (3) A maximum of 40% of the Rear 1st floor (20 ft.) and 2nd floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of 1st and 2nd floor elevations. Two story flat elements are discouraged.
- (4) The side elevation of the 1st floor and 2nd floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (5) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (6) The ratio of the second floor square footage to the first floor square footage may not exceed 50%.
- (7) The corner elevation must provide a consistent architectural element with the front and rear of the house.

**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 23, BIARRITZ**

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)
Side	5 ft. (2)	10 ft. (2)
Front	20 ft. (1)	25 ft.
Rear	20 ft.	25 ft.
Corner	10 ft. (4)	15 ft. (4)

- (1) Front setback of 15 ft. for 1st floor side entrance garage, 2nd floor setback remains at 25 ft. The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot.
- (2) The side elevation of the 1st floor and 2nd floor must provide modulation of exterior and roof lines, as well as avoid large flat elements.
- (3) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (4) The corner elevation must provide a consistent architectural element with the front and rear of the house.

**NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.**

**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 24 MARSEILLES DEUX  
(NON LAKE FRONT)**

	LLV Guidelines 1 <sup>st</sup> Floor (5)	LLV Guidelines 2 <sup>nd</sup> Floor (5)(6)	City of Henderson Minimum Requirements (reference only)
Side	7.5 ft. (4)	12.5 ft. (4)	5 ft.
Front	20 ft. (1) (2)	25 ft. (2)	20 ft.
Rear	20 ft. (3)	25 ft. (3)	15 ft. (Golf)
Corner	15 ft. (7)	20 ft. (7)	15 ft.

- (1) Front setback of 15 ft. for 1<sup>st</sup> floor side entrance garage, 2<sup>nd</sup> floor setback remains at 25 ft.
- (2) The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot. A maximum of 50% of the Front 1<sup>st</sup> floor (20 ft.) and 2<sup>nd</sup> floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of structure.
- (3) A maximum of 50% of the Rear 1<sup>st</sup> floor (20 ft.) and the 2<sup>nd</sup> floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of 1<sup>st</sup> and 2<sup>nd</sup> floor elevations.
- (4) The side elevation of the 1<sup>st</sup> floor and 2<sup>nd</sup> floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (5) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (6) The ratio of the second floor square footage to the first floor square footage is desired to be 40%. The ratio cannot exceed 60%. However, the architecture of the house must provide superior details to exceed 40%.
- (7) The corner elevation must provide a consistent architectural element with the front and rear of the house.
- (8) Basements (i.e. below pad grade) are allowed and are not included in maximum floor area.
- (9) Front setback may be modified with revised grading and/or retaining walls. However, the house/structure cannot be closer than 30 feet to back of curb or sidewalk and/or 10 feet from any retaining wall, whichever provides the maximum setback. Any proposed retaining wall must be 6 feet from back of sidewalk or curb.

**NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.**

**DESIGN GUIDELINES MINIMUM SETBACKS**  
**LAKE LAS VEGAS**  
**PARCEL 24 MARSEILLES**  
**(LAKE FRONT)**

**LOTS 10 thru 13**

	LLV Guidelines 1 <sup>st</sup> Floor (5)	LLV Guidelines 2 <sup>nd</sup> Floor (5)(6)
Side	10 ft. (4)	20 ft. (4)
Front	20 ft. (1) (2)	25 ft. (2)
Rear	30 ft. (3)	35 ft. (3)

- (1) Front setback of 15 ft. for 1<sup>st</sup> floor side entrance garage, 2<sup>nd</sup> floor setback remains at 25 ft.
- (2) The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot. A maximum of 50% of the Front 1<sup>st</sup> floor (20 ft.) and second floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of structure. Large flat unmodulated buildings must be avoided.
- (3) A maximum of 40% of the Rear 1<sup>st</sup> floor (30 ft.) and the second floor (35 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of 1<sup>st</sup> and 2<sup>nd</sup> floor elevations. Two story flat elements are discouraged.
- (4) The side elevation of the 1<sup>st</sup> floor and 2<sup>nd</sup> floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (5) LLV setbacks are measured from the top of slope, toe of slope, shoreline control zone, or property line if there is no slope.
- (6) The ratio of the second floor square footage to the first floor square footage may not exceed 40%, i.e.: massing of house must be predominantly single story.
- (7) The corner elevation must provide a consistent architectural element with the front and rear of the house.
- (8) Parcel 24, Marseilles, waterfront lots are governed by a requirement that finished pad may be of a grade no higher than the curb flow line at that highest point of adjacency to said paved flow line.
- (9) The minimum lowest finished floor level shall be 1408'.
- (10) No solid property line fence shall be higher than 6', no retaining wall shall be higher than 5'. No combination of retaining wall and wrought iron shall be higher than 7'. In a case where there is a need to exceed the above criteria there shall be a distance of 3' between retaining walls landscaped and in no case can each wall section exceed the criteria established.
- (11) Once the fence passes the rear foundation wall of the house the entire fence shall be wrought iron and in no case shall exceed 6'. The wrought iron fence shall be permitted to project into the shoreline control area 10'.
- (12) The retaining wall projecting past the rear house foundation must meet maximum height restriction of 5' and be capped by wrought iron as desired or required not exceeding adopted standards. In no case shall there be a retaining wall within 3' of the side property line in the rear setback area.

**NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.**

**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 25, MARSEILLES**

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)	City of Henderson Minimum Requirements (reference only)
Side	10 ft. (4)	15 ft. (4)	10 ft.
Front	25 ft. (1) (2)	30 ft. (2)	25 ft.
Rear	30 ft. (3)	35 ft. (3)	30 ft.
Corner	15 ft. (7)	15 ft. (7)	15 ft.

- (1) Front setback of 15 ft. for 1st floor side entrance garage, 2nd floor setback remains at 25 ft.
- (2) The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot. A maximum of 50% of the Front 1st floor (20 ft.) and 2nd floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of structure. Large flat unmodulated buildings must be avoided.
- (3) A maximum of 40% of the Rear 1st floor (30 ft.) and 2nd floor (35 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of 1st and 2nd floor elevations. Two story flat elements are discouraged.
- (4) The side elevation of the 1st floor and 2nd floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (5) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (6) The ratio of the second floor square footage to the first floor square footage may not exceed 50%.
- (7) The corner elevation must provide a consistent architectural element with the front and rear of the house.

**DESIGN GUIDELINES MINIMUM SETBACKS**  
**LAKE LAS VEGAS**  
**PARCEL 26, MONACO**  
*(NON-LAKE FRONT)*

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)
Side	7.5 ft. (2)	12.5 ft. (2)
Front	20 ft. (1)	25 ft.
Rear	20 ft.	25 ft.
Corner	15 ft. (4)	20 ft. (4)

- (1) Front setback of 15 ft. for 1st floor side entrance garage, 2<sup>nd</sup> floor setback remains at 25 ft. The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot.
- (2) The side elevation of the 1<sup>st</sup> floor and 2<sup>nd</sup> floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (3) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (4) The corner elevation must provide a consistent architectural element with the front and rear of the house.

**NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.**

**EXHIBIT 2A**  
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**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 26, MONACO  
(LAKE FRONT)**

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)
Side	10 ft. (4)	20 ft. (4)
Front	20 ft. (1) (2)	25 ft. (2)
Rear	30 ft. (3)	35 ft. (3)

- (1) Front setback of 15 ft. for 1st floor side entrance garage, 2<sup>nd</sup> floor setback remains at 25 ft.
- (2) The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot. A maximum of 50% of the Front 1st floor (20 ft.) and second floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of structure. Large flat unmodulated buildings must be avoided.
- (3) A maximum of 40% of the Rear 1st floor (30 ft.) and the second floor (35 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of 1<sup>st</sup> and 2<sup>nd</sup> floor elevations. Two story flat elements are discouraged.
- (4) The side elevation of the 1<sup>st</sup> floor and 2<sup>nd</sup> floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (5) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (6) The ratio of the second floor square footage to the first floor square footage may not exceed 40%
- (7) The corner elevation must provide a consistent architectural element with the front and rear of the house.
- (8) Parcel 26, Monaco, waterfront lots are governed by a requirement that finished pad may be of a grade no higher than the curb flow line at that highest point of adjacency to said paved flow line.
- (9) The minimum lowest finished floor level shall be 1409'
- (10) No solid property line fence shall be higher than 6', no retaining wall shall be higher than 5'. No combination of retaining wall and wrought iron shall be higher than 7'. In a case where there is a need to exceed the above criteria there shall be a distance of 3' between retaining walls landscaped and in no case can each wall section exceed the criteria established.

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**EXHIBIT 2B**  
DEC 15 1999



- (11) Once the fence passes the rear foundation wall of the house the entire fence shall be wrought iron and in no case shall exceed 6'. The wrought iron fence shall be permitted to project into the shoreline control area 10'.
- (12) The retaining wall projecting past the rear house foundation must meet maximum height restriction of 5' and be capped by wrought iron as desired or required not exceeding adopted standards. In no case shall there be a retaining wall within 3' of the side property line in the rear setback area.
- (13) Finished floor elevation at 1409' shall have a second floor elevation above the lower floor consistent with the setback table above (this criteria requires design review board input for Lots 42-50).

**NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.**

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LAKE LAS VEGAS

**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 30, CAPRI**

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)
Side	7.5 ft. (2)	12.5 ft. (2)
Front	20 ft. (1)	25 ft.
Rear	20 ft.	25 ft.
Corner	15 ft. (4)	20 ft. (4)

- (1) Front setback of 15 ft. for 1st floor side entrance garage, 2<sup>nd</sup> floor setback remains at 25 ft. The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot.
- (2) The side elevation of the 1<sup>st</sup> floor and 2<sup>nd</sup> floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (3) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (4) The corner elevation must provide a consistent architectural element with the front and rear of the house.

**NOTE: REFER TO PLOT PLANS FOR SPECIAL LOT CONDITIONS.**

**EXHIBIT 2**  
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**DESIGN GUIDELINES MINIMUM SETBACKS  
LAKE LAS VEGAS  
PARCEL 33, BARCELONA**

	LLV Guidelines 1st Floor (5)	LLV Guidelines 2nd Floor (5) (6)	City of Henderson Minimum Requirements (reference only)
Side	10 ft. (4)	15 ft. (4)	5 ft.
Front	20 ft. (1) (2)	25 ft. (2)	20 ft.
Rear	20 ft. (3)	25 ft. (3)	20 ft.
Corner	10 ft. (7)	15 ft. (7)	10 ft.

- (1) Front setback of 15 ft. for 1st floor side entrance garage, 2nd floor setback remains at 25 ft.
- (2) The front setback is measured from the back of curb or back of sidewalk if a sidewalk is adjacent to lot. A maximum of 50% of the Front 1st floor (20 ft.) and 2nd floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of structure. Large flat unmodulated buildings must be avoided.
- (3) A maximum of 40% of the Rear 1st floor (20 ft.) and 2nd floor (25 ft.) can be at the minimum setback. The remaining must be setback an additional 5 ft. to provide modulation of 1st and 2nd floor elevations. Two story flat elements are discouraged.
- (4) The side elevation of the 1st floor and 2nd floor must provide modulation of exterior and roof lines as well as avoid large flat elements.
- (5) LLV setbacks are measured from the top of slope, toe of slope, or property line if there is no slope.
- (6) The ratio of the second floor square footage to the first floor square footage may not exceed 50%.
- (7) The corner elevation must provide a consistent architectural element with the front and rear of the house.



*Appendix B  
Lake Las Vegas South Shore  
Residential Design Guidelines  
Approved Tree and Plant Palettes*

Amended June 2020

This Appendix is subject to revision on a periodic basis.  
Please contact the HOA office to obtain the latest update.

Botanical Name	Common Name	Size (H'xW'Water Use	Sun Exposure	Notes
<b>Large Trees</b>				
1 <i>Celtis occidentalis</i>	Common Hackberry	45x30 Moderate	Full sun	
2 <i>Cupressus glabra</i>	Arizona Cypress	50x15 Low/Moderate	Full sun	
3 <i>Cupressus sempervirens</i>	Italian Cypress	60x6 Low/Moderate	Full sun	
4 <i>Elaeocarpus decipiens</i>	Japanese Blueberry	40x25 Moderate	Part Sun	
5 <i>Eucalyptus</i> sp.	Eucalyptus/Gum Tree	30x30 Low/Moderate	Full sun	Species adapted to Las Vegas only. Selection requires approval.
6 <i>Fraxinus velutinan</i>	Velvet Ash	45x35 Moderate	Full sun	
7 <i>Pinus eldarica</i>	Mondel or Afghan Pine	40x30 Low/Moderate	Full sun	
8 <i>Pinus halepensis</i>	Aleppo Pine	45x25 Low/Moderate	Full sun	
9 <i>Pinus pinea</i>	Italian Stone Pine	60x40 Moderate	Full sun	
10 <i>Pistacia 'Red Push'</i>	Red Push Pistache	30x30 Moderate	Full sun	
11 <i>Platanus mexicanum</i>	Mexican Sycamore	60x40 Moderate	Full sun	
12 <i>Quercus suber</i>	Cork Oak	40x30 Low/Moderate	Full sun	
13 <i>Robinia x ambigua 'Purple Robe'</i>	Purple Robe Locust	40x30 Moderate	Full sun	
14 <i>Ulmus parviflora</i>	Lacebark Elm	40x40 Moderate	Full sun	

Botanical Name	Common Name	Size (H'xW'Water Use	Sun Exposure	Notes
<b>Medium Trees</b>				
1 <i>Acacia schaffneri</i>	Twisted Acacia	20x20 Low	Full sun	
2 <i>Acacia stenophylla</i>	Shoestring Acacia	40x20 Low	Full sun	
3 <i>Brachychiton populneus</i>	Bottle Tree	35x20 Low/Moderate	Full/Part sun	
4 <i>Chilopsis linearis</i> hybrids	Desert Willow	25x20 Low	Full/Part sun	Seedless varieties preferred.
5 <i>Cordia boissieri</i>	Texas Olive	25x25 Moderate	Full/Part sun	
6 <i>Ebenopsis ebano</i>	Texas Ebony	25x20 Low	Full sun	
7 <i>Glenditsia triacanthos inermis</i>	Thornless Honey Locust	35x30 Moderate	Full sun	
8 <i>Koelerupia bipinnata</i>	Goldenrain Tree	30x30 Moderate	Full sun	
9 <i>Olea europaea 'Svan Hill'</i>	Swan Hill Olive	25x20 Low/Moderate	Full sun	Fruitless
10 <i>Olea europaea 'Wilsonii'</i>	Wilson Olive	25x20 Low/Moderate	Full sun	Fruitless
11 <i>Parkinsonia florida</i>	Blue Palo Verde	30x30 Low/Moderate	Full sun	
12 <i>Parkinsonia x 'Desert Museum'</i>	Desert Museum Palo Verde	25x25 Low/Moderate	Full sun	
13 <i>Podocarpus macrophyllus</i>	Yew Pine	25x10 Low/Moderate	Shade	
14 <i>Prosopis alba 'Cooperi'</i>	Thornless Argentine Mesquite	30x30 Low/Moderate	Full sun	
15 <i>Prosopis chilensis 'Thornless'</i>	Thornless Chilean Mesquite	30x30 Low/Moderate	Full sun	
16 <i>Prosopis glandulosa 'Maverick'</i>	Thornless Honey Mesquite	30x30 Low	Full sun	
17 <i>Quercus virginiana</i>	Southern Live Oak	30x20 Low/Moderate	Full sun	
18 <i>Rhus lancea</i>	African Sumac	20x20 Low/Moderate	Full sun	
19 <i>Sophora japonica</i>	Japanese Pagoda Tree	30x30 Moderate	Full sun	

Botanical Name	Common Name	Size (H'xW'Water Use	Sun Exposure	Notes
<b>Small Trees</b>				
1 <i>Acacia farnesiana</i>	Sweet Sierra	25x25 Low/Moderate	Full sun	
2 <i>Acacia pendula</i>	Weeping Acacia	25x20 Low	Full sun	
3 <i>Arbutus unedo</i>	Strawberry Tree	15x10 Low/Moderate	Part sun/Shade	
4 <i>Bauhinia lunarioides</i>	Anacacho Orchid	12x10 Low	Full/Part sun	
5 <i>Bauhinia macranthera</i>	Chihuahuan Orchid Tree	15x15 Low	Full/Part sun	
6 <i>Cercis canadensis v. mexicana</i>	Mexican Redbud	25x15 Low	Part sun	
7 <i>Cercis occidentalis</i>	Western Redbud	13x15 Low/Moderate	Part sun	
8 <i>Chitalpa tashkentensis</i>	Chitalpa	20x20 Low/Moderate	Full sun	
9 <i>Lagerstroemia indica</i>	Crape Myrtle	12x12 Moderate	Full/Part sun	
10 <i>Laurus nobilis</i>	Bay Laurel	12x12 Moderate	Full/Part sun	
11 <i>Sophora secundiflora</i>	Texas Mt. Laurel	15x12 Low/Moderate	Full sun	
12 <i>Ungradija speciosa</i>	Mexican Buckeye	10x12 Low/Moderate	Full sun	
13 <i>Vitex agnus-castus</i>	Chaste Tree	25x25 Moderate	Full sun	

Botanical Name	Common Name	Size (H'xW'Water Use	Sun Exposure	Notes
<b>Palm Trees</b>				
1 Brahea armata	Mexican Blue Palm	30x15	Low/Moderate	Full/Part sun
2 Chamaerops humilis	Mediterranean Fan Palm	16x16	Moderate	Full/Part sun
3 Phoenix canariensis	Canary Island Date Palm	60x10	Moderate	Full sun
4 Phoenix dactylifera	Date Palm	40x20	Low/Moderate	Full/Part sun
5 Washingtonia filifera	California Fan Palm	50x15	Low	Full/Part sun
6 Washingtonia robusta	Mexican Fan Palm	75x15	Moderate	Full/Part sun
<b>Shrubs</b>				
1 Abelia x grandiflora	Glossy Abelia	5x5	Moderate	Full/Part sun
2 Aloysia virgata	Sweet Almond Bush	15x5	Low	Full/Part sun
3 Caesalpinia gilliesii	Yellow Bird of Paradise	8x6	Low	Full sun
4 Caesalpinia pulcherrima	Red Bird of Paradise	6x6	Low	Full sun
5 Calliandra eriophylla	Pink Fairy Duster	3x3	Low	Full sun
6 Calliandra x 'Sierra Starr'	Sierra Starr Fairy Duster	5x5	Low/Moderate	Full sun
7 Callistemon sp.	Bottlebrush varieties	Varies	Moderate	Full sun
8 Carissa macrocarpa	Natal Plum	4x4	Low/Moderate	Full/Part sun
9 Caryopteris x clandonensis 'Dark Knight'	Blue Mist Spirea	3x4	Moderate	Full/Part sun
10 Cordia parvifolia	Little Leaf Cordia	6x8	Low	Full sun
11 Cuphea hyssopifolia	Mexican Heather	2x2	Moderate	Full/Part sun
12 Cytisus x 'Lena'	Lena Scotch Broom	3x3	Moderate	Full sun
13 Dalea frutescens Sierra Negra	Black Dalea	4x5	Low	Full sun
14 Dodonaea viscosa	Purple Hopseed Bush	10x6	Low/Moderate	Full sun
15 Encelia farinosa	Brittlebush	4x4	Low	Full/Part sun
16 Eremophila sp.	Emu Bush varieties	Varies	Low/Moderate	Full/Part sun
17 Eucynymus japonica spp.	Eucynymus varieties	Varies	Moderate	Part sun/Shade
18 Euryops pectinatus 'Viridis'	Green Daisy Bush	4x4	Moderate	Full/Part sun
19 Fallugia paradoxa	Apache Plume	6x4	Low	Full/Part sun
20 Feijoa sellowiana	Pineapple Guava	15x15	Low	Full/Part sun
21 Genista tinctoria	Dyer's Greenwood	6x6	Low	Full sun
22 Hamelia patens Sierra Red	Firecracker Bush	3x5	Moderate	Full sun
23 Lantana x 'Dallas Red'	Dallas Red Lantana	4x5	Low/Moderate	Full sun
24 Larea tridentata	Creosote	8x6	Very Low	Full sun
25 Leucophyllum sp.	Texas Sage varieties	Varies	Low	Full sun
26 Myrtus communis	Classic Myrtle	6x6	Low	Full/Part sun
27 Nandina domestica spp.	Heavenly Bamboo varieties	Varies	Moderate	Part sun/Shade
28 Pittosporum sp.	Mock Orange varieties	Varies	Moderate	Full/Part sun
29 Plumbago auriculata	Cape Plumbago	6x9	Low/Moderate	Full/Part sun
30 Rhus ovata	Sugar Bush	12x12	Low/Moderate	Full/Part sun
31 Rosa species	Rose species	Varies	Moderate	Full/Part sun
32 Rosemarinus sp.	Rosemary varieties	Varies	Low/Moderate	Full sun
33 Russelia equisetiformis	Coral Fountain	3x4	Moderate	Full/Part sun
34 Salvia celvelandii	Chaparral Sage	6x6	Moderate	Full/Part sun
35 Salvia greggii 'Sierra Linda'	Pink Autumn Sage	3x3	Low/Moderate	Full/Part sun
36 Salvia x 'Ultra Violet'	Ultra Violet Sage	2x2	Low/Moderate	Full/Part sun
37 Senna artemisioides	Feathery Cassia	6x6	Low	Full sun
38 Senna nemophila	Desert Cassia	6x6	Low	Full sun
39 Simmondsia chinensis 'Vista'	Compact Jojoba	4x4	Low	Full/Part sun
40 Tecoma sp.	Esperanza varieties	Varies	Moderate	Full/Part sun
41 Teucrium chamaedrys	Germander	2x2	Moderate	Full/Part sun
42 Vauquelinia californica	Arizona Rosewood	15x10	Moderate	Full/Part sun
43 Xylosma congestum	Shiny Xylosma	8x8	Moderate	Full/Part sun

Species adapted to Las Vegas only. Selection requires approval.  
Species adapted to Las Vegas only. Selection requires approval.

Species adapted to Las Vegas only. Selection requires approval.  
Upright varieties only. Selection required approval.

Botanical Name	Common Name	Size (HxW)	Water Use	Sun Exposure	Notes
<b>Groundcovers</b>					
1 Acacia cognata 'Cousin Itt'	Cousin Itt Acacia	1x5	Low/Moderate	Full/Part sun	
2 Convolvulus cneorum	Bush Morning Glory	2x4	Low	Full sun	
3 Convolvulus mauritanicus	Ground Morning Glory	1x3	Low	Full sun	
4 Dalea capitata 'Sierra Gold'	Sierra Gold Dalea	1x3	Low	Full sun	
5 Dalea greggii	Trailing Indigo Bush	2x6	Low	Full sun	
6 Drosanthemum cooperi	Purple Iceplant	1x3	Low	Full/Part sun	
7 Drosanthemum speciosum 'Rosea'	Rose Iceplant	1x3	Low	Part shade	
8 Eremophila glabra 'Mingenew Gold'	Outback Sunrise Emu	1x6	Low	Full/Part sun	
9 Glandularia pulchella	Rock Verbena	1x3	Low	Full/Part sun	
10 Juniperus chinensis procumbens	Japanese Garden Juniper	2x8	Moderate	Part sun	
11 Juniperus conferta	Shore Juniper	1x8	Moderate	Part sun	
12 Juniperus horizontalis 'Wiltonii'	Blue Carpet Juniper	1x6	Moderate	Part sun	
13 Lantana montevidensis	Purple Trailing Lantana	2x5	Low/Moderate	Full sun	
14 Lantana montevidensis 'White'	White Trailing Lantana	2x5	Low/Moderate	Full sun	
15 Lantana x 'New Gold'	New Gold Lantana	2x3	Low/Moderate	Full sun	
16 Maephora lutea	Rocky Point Ice Plant	1x4	Low/Moderate	Full/Part sun	
17 Myoporum parvifolium	White Myoporum	1x10	Low	Full/Part sun	
18 Teucrium chamaedrys 'Prostratum'	Prostrate Germander	1x3	Low	Full/Part sun	
19 Tradescantia pallida 'Purpurea'	Purple Heart	1x3	Low/Moderate	Full/Part sun	

<b>Ornamental Grasses &amp; Bamboo</b>					
1 Aristida purpurea	Purple Three Awn	2x2	Low	Full sun	
2 Bambus sp.	Bamboo varieties	Varies	Moderate	Full sun	
3 Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	3x3	Low	Full sun	
4 Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	4x3	Low/Moderate	Full/Part sun	
5 Carex tumulicola	Berkeley Sedge	1x2	Moderate	Full/Part sun	
6 Cortaderia selloana 'Pumila'	Dwarf Pampas Grass	5x5	Low/Moderate	Full/Part sun	
7 Festuca glauca	Blue Fescue	1x1	Low/Moderate	Full sun	
8 Muhlenbergia capillaris 'Regal Mist'	Pink Muhly	3x3	Low/Moderate	Full sun	
9 Muhlenbergia capillaris 'White Cloud'	Mist Grass	4x4	Low	Full/Part sun	
10 Muhlenbergia rigida 'Nashville'	Purple Muhly	2x2	Moderate	Full/Part sun	

Clumping varieties adapted to Las Vegas. Selection requires approval.

<b>Agave, Cacti, Succulents &amp; Yucca</b>					
1 Agave sp.	Agave varieties	Varies	Low	Full/Part sun	Species adapted to Las Vegas only. Selection requires approval
2 Aloe sp.	Aloe varieties	Varies	Low	Full/Part sun	Species adapted to Las Vegas only. Selection requires approval
3 Bulbine frutescens 'Tiny Tangerine'	Tiny Tangerine Bulbine	1x2	Low	Full/Part sun	
4 Cycas revoluta	Sago Palm	6x8	Low	Part sun/Shade	
5 Dasylirion sp.	Desert Spoon varieties	Varies	Low	Full sun	
6 Echinocactus sp	Barrel Cactus varieties	2x3	Low	Full sun	
7 Echinocereus engelmannii	Starwberry Hedgehog	1x3	Low	Full sun	
8 Euphorbia rigida	Gopher Plant	2x3	Low/Moderate	Full sun	
9 Euphorbia tirucalli 'Sticks on Fire'	Fire Stick	5x6	Low	Full sun	
10 Fouquieria splendens	Ocotillo	12x8	Low	Full/Part sun	
11 Hesperaloe sp.	Hesperaloe varieties	Varies	Low	Full sun	
12 Nolina nelsoni	Blue Nolina	5x5	Low	Full sun	
13 Nolina texana	Bear Grass	3x3	Low	Full/Part sun	
14 Opuntia sp.	Prickly Pear varieties	Varies	Low	Full sun	Species adapted to Las Vegas only. Selection requires approval
15 Pachycereus marginatus	Mexican Fence Post	12x6	Low	Full/Part sun	
16 Pedilanthus bracteatus	Tall Slipper Plant	5x5	Low	Full sun/Full shade	
17 Yucca sp.	Yucca varieties	Varies	Low	Full/Part sun	Species adapted to Las Vegas only. Selection requires approval

Botanical Name	Common Name	Size (H'xW)	Water Use	Sun Exposure	Notes
<b>Vines</b>					
1 Antigonon leptopus 'Baja Red'	Queen's Wreath	15x10	Low/Moderate	Full sun	
2 Callaeum lilacaena	Orchid Vine	12x5	Low	Full sun	
3 Campsis radicans	Trumpet Vine	10x10	Moderate	Part sun	
4 Clematis ligusticifolia	Wester Virgin's Bower	12x5	Moderate	Full/Part sun	
5 Ficus pumila	Creeping Fig	10x5	Moderate	Part sun/Shade	
6 Macfadyena unguis-cati	Cat's Claw Vine	15x10	Low	Full/Part sun	
7 Parthenocissus sp. Hacienda Creeper	Hacienda Creeper	15x10	Low/Moderate	Full/Part sun	
8 Podranea ricasoleana	Pink Trumpet Vine	20x8	Low/Moderate	Full sun	
9 Rosa banksiae	Lady Bank's Rose	15x10	Moderate	Full/Part sun	
10 Tecomania capensis	Cape Honeysuckle	8x5	Moderate	Full/Part sun	

<b>Perennials</b>					
1 Ageratum corymbosum	Blue Mist Flower	3x3	Moderate	Full/Part sun	
2 Artemisa x 'Powis Castle'	Powis Castle Wormwood	2x3	Low	Full/Part sun	
3 Asparagus densiflorus 'Meyers'	Foxtail Fern	2x3	Moderate	Part sun/Shade	
4 Baileya multiradiata	Desert Marigold	1x1	Low	Full sun	
5 Berlandiera lyrata	Chocolate Flower	1x2	Low	Full/Part sun	
6 Dietes bicolor	African Iris	2x2	Moderate	Part sun/Shade	
7 Echinacea purpurea	Purple Coneflower	3x2	Moderate	Full/Part sun	
8 Gaura coccinea	Scarlet Gaura	1x2	Low	Full/Part sun	
9 Gaura lindheimeri	Gaura	3x4	Moderate	Full/Part sun	
10 Glandularia gooddingii	Gooding Verbena	1x3	Low	Full/Part sun	
11 Lavandula sp.	Lavender varieties	Varies	Moderate	Full sun	
12 Liriope gigantea	Giant Lily Turf	2x2	Moderate	Part sun/Shade	
13 Liriope muscari	Lily Turf	1x1	Moderate	Full/Part sun	
14 Melampodium leucanthum	Blackfoot Daisy	1x2	Low	Full/Part sun	
15 Penstemon sp.	Penstemon varieties	Varies	Low	Full/Part sun	
16 Perovskia atriplicifolia	Russian Sage	3x2	Moderate	Full/Part sun	
17 Poliomintha maderensis	Mexican Oregano	3x3	Low	Full/Part sun	
18 Ruellia brittoniana	Dwarf Ruellia	1x2	Moderate	Full/Part sun	
19 Sphaeralcea ambigua	Globe Mallow	3x3	Low	Full/Part sun	
20 Stanleya pinata	Desert Prince's Plume	4x3	Very Low	Full sun	

Species adapted to Las Vegas only. Selection requires approval

Species adapted to Las Vegas only. Selection requires approval





*Appendix C*  
*Material and Construction Requirements*  
*for Repair Patch of*  
*UTACS-Surfaced Bituminous Pavement*

## ***Materials and Construction Requirements for***

### **Repair Patch of UTACS-Surfaced Bituminous Pavement**

#### **A. Description**

This document provides the materials and construction requirements for restoring the continuity of support and the uniformity of appearance in an existing UTACS-surfaced bituminous pavement that requires trench excavation to address an underlying utility need. UTACS is an acronym for ultrathin asphalt concrete surface, which is a unique gap-graded, wearing course applied to a conventional bituminous pavement.

#### **B. Materials**

1. UTACS mix – The materials used for the final UTACS wearing course shall conform to Section 413, *Plantmix Bituminous Gap-Graded Surface*, of the Regional Transportation Commission of Southern Nevada (RTCSN) Standard Specifications. The gradation of the UTACS mix shall match that of the existing UTACS layer (Type S2 or S3). The asphalt binder for the mix shall be a PG76-22CC.
2. Trench backfill – Unless they have become defective due to saturation or infiltration of fine subgrade materials, the same backfill material removed from the trench may be used for backfill. Defective backfill materials shall be replaced with virgin materials that conform to Section 208, *Trench Excavation and Backfill*, of the RTCSN Standard Specifications.
3. Plantmix bituminous surface – The bituminous mix used as the first layer of pavement over the top of the trench shall conform to Section 401, *Composition of Mixtures*, of the RTCSN Standard Specifications. The mix shall meet the requirements of a Traffic Category II mix. The aggregate shall conform to a Type 2 Fine for residential and collector streets (Section 705, *Aggregates for Bituminous Courses*).

Contractor shall submit proposed mix designs to the Engineer at least 7 days in advance of construction. Work shall not begin without the Engineer's approval of the mix designs.

#### **C. Construction Requirements**

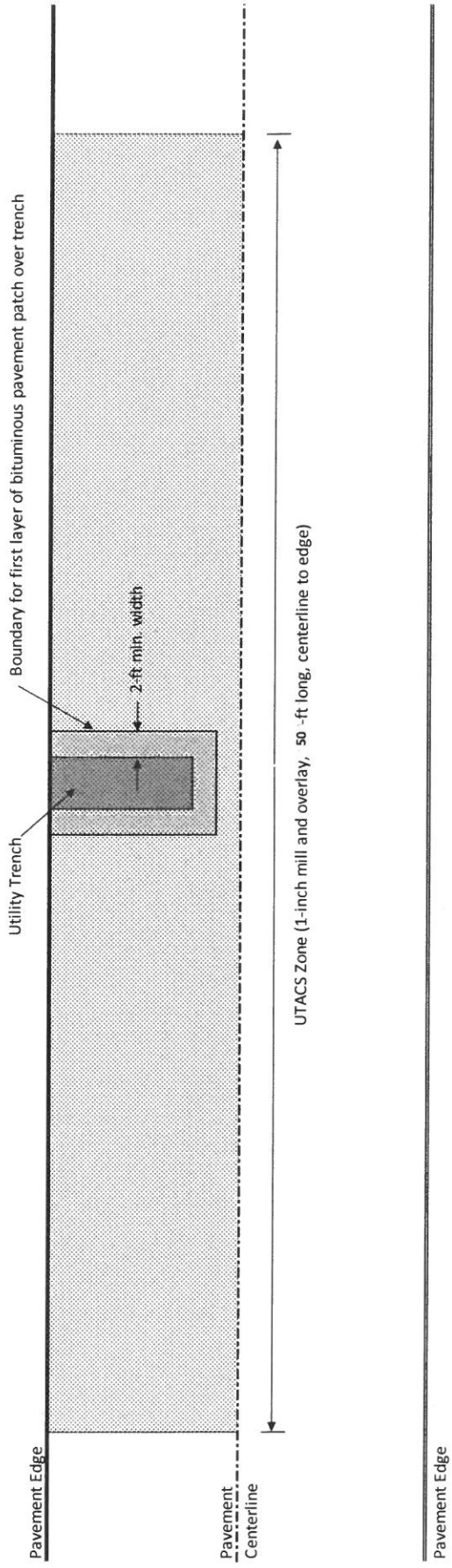
1. Trench excavation and backfill – Excavation of the trench, installation (or repair) of the utility feature, and backfill of the trench shall be carried out according to Section 208, *Trench Excavation and Backfill*, of the RTCSN specifications.
2. UTACS removal – Two 1-inch deep, half pavement width, and lateral saw cuts shall be made on either side of the trench (25 ft. before and 25 ft. after). The 50-ft. long section of the existing UTACS layer (between the saw cuts) shall then be cold-milled to a depth of 1 inch below the surface. If the utility trench extends into the opposite side of the street, then the saw cuts and the milling shall extend over the entire width of the street.
3. Remove pavement around trench – Full-depth saw cuts shall be made in the existing pavement along a minimum 2-ft wide boundary outside the trench. The pavement within

the boundary shall be removed to a minimum depth of 2 inches. Removal shall be carried out without damaging the surrounding pavement.

4. Apply pavement patch over the trench – Base material within the expanded trench area shall be compacted as necessary to achieve strong, uniform support. A minimum of 2 inches of bituminous pavement shall be placed over the expanded trench area and compacted to achieve the target density associated with the approved mix design.
5. Place UTACS surface – Placement and compaction of the UTACS overlay over the 50-ft. long street segment shall be in accordance with Section 413, *Plantmix Bituminous Gap-Graded Surface*, Section 401, *Plantmix Bituminous Pavements – General*, and Section 705, *Plantmix Bituminous Surface*, of the RTCSN Standard Specifications. The target thickness of the UTACS overlay shall be 1 inch and the target surface profile of the overlay along the pavement edge shall be ½ inch above the gutter pan. Any excess mix that flows onto the gutter pan shall be removed to achieve a straight uniform edge.

Figure 1 provides a plan view of the repair patch area showing the key dimensions.

Figure 1. Plan view of repair patch area.





*Appendix D*  
*Lake Las Vegas South Shore*  
*Residential Design Guidelines*  
*Amended Exhibits*

Adopted May 2002

**LAKE LAS VEGAS SOUTHSHORE  
RESIDENTIAL DESIGN GUIDELINES  
AMENDED EXHIBITS**

**Effective May 2002**

PL @ FACE OF V. L. (SEE NOTE, PAGE 3)

8" FOOTPRINT CAST CONCRETE CAP BY QUICKCRETE PRODUCTS

#3 REBAR AT 24" O.C. CONTINUOUS (TYP.)

STUCCO SCRATCH, BROWN AND COLOR COAT-SEE NOTE BELOW

6"X8"X16" C.M.U. SOLID GROUT ALL CELLS AND VIBRATE

#4 REBAR AT 24" O.C. ALTERNATE DIRECTIONS IN FOOTING

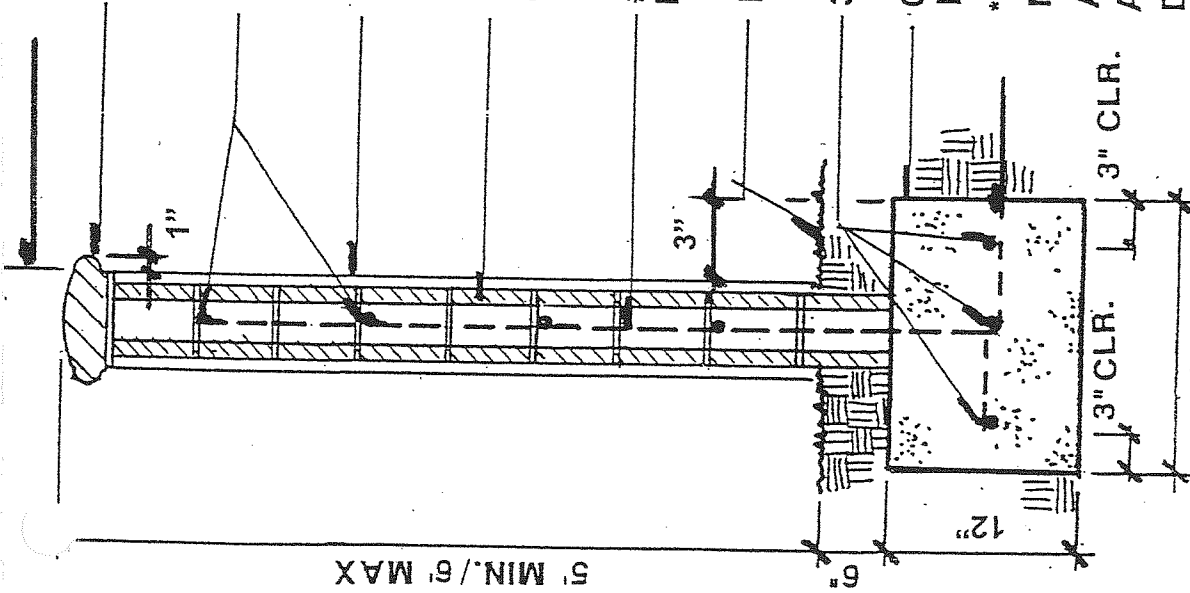
FINISH GRADE

3-#4 REBARS CONTINUOUS

CONCRETE FOOTING PER STRUCTURAL ENGINEER

\* 12" PER CITY STDS. OR AS REQUIRED BY ENGINEER NOTE:

ALL VERTICAL WALL SURFACES FACING PUBLIC SPACES AND RIGHT-OF-WAYS SHALL BE LA HABRA COLOR. DOUBLE XX SADDLEBACK ALL VERTICAL WALL SURFACES FACING PRIVATE PROPERTY SHALL MATCH THE EXTERIOR COLOR AND TEXTURE OF BUILDING. PROVIDE VERTICAL EXPANSION JOINTS EVERY 100' MAXIMUM AND GRADE CHANGES.



# STUCCO WALL

PL @ F. OF WALL (SEE NOTE, PAGE 3)

1"X1" TUBULAR STEEL TOP AND BOTTOM RAIL

1"X1" TUBULAR STEEL POST

1/2"X1/2" TUBULAR STEEL PICKET

6"X8"X16" C.M.U. SOLID GROUT ALL CELLS AND VIBRATE

8" FOOTPRINT CAST CONCRETE CAP

STUCCO SCRATCH, BROWN AND COLOR COAT  
SEE NOTE BELOW

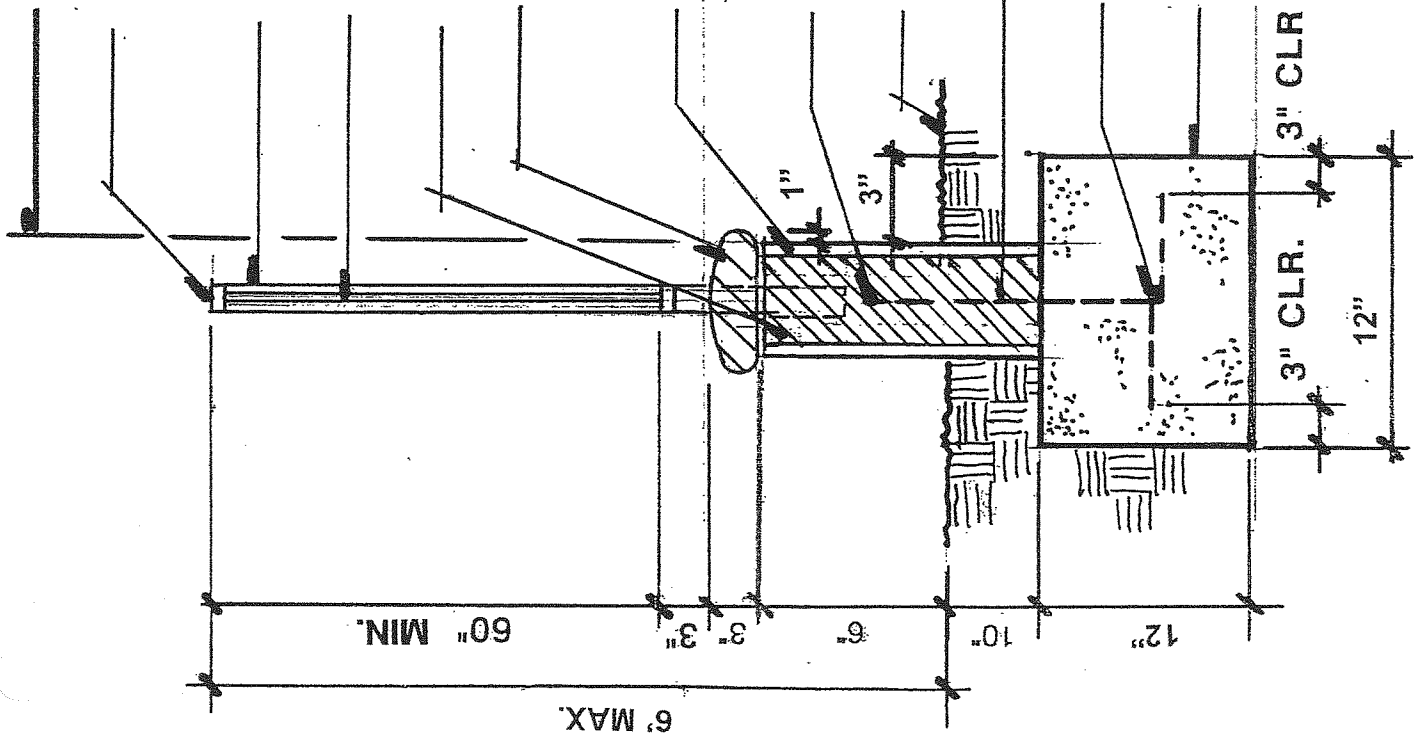
#4 REBAR CONTINUOUS

FINISH GRADE

#4 REBAR AT 32" O.C.

#4 REBAR CONTINUOUS

CONCRETE FOOTING PER STRUCTURAL ENGINEER  
\* 12" PER CITY STDS. OR AS REQUIRED BY ENGINEER



# LOW STUCCO WALL WITH WROUGHT IRON FENCE

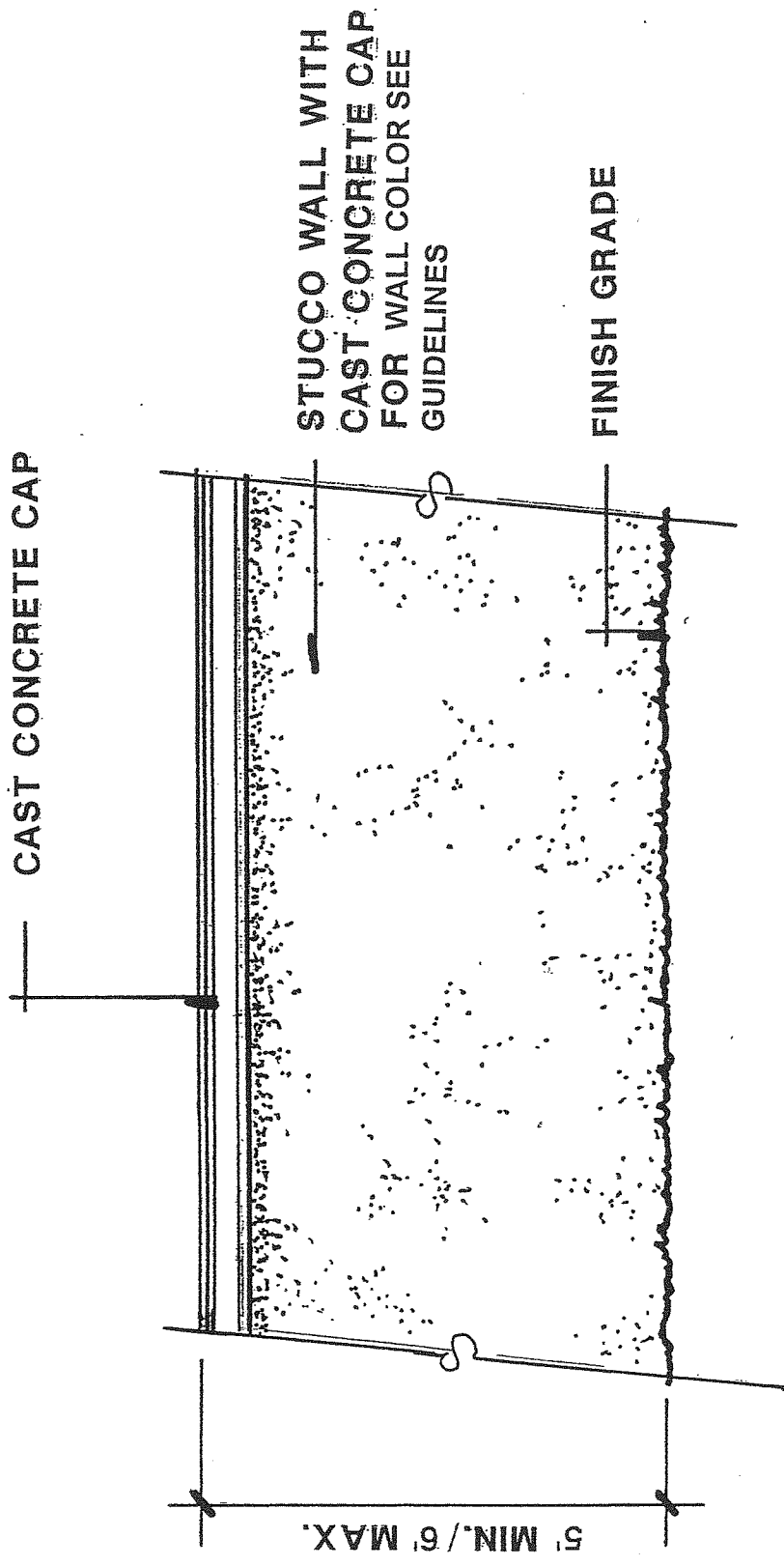
SCALE 3/4"=1'-0"

MAY 2, 2002



- 1) FIVE/SIX (5'6') HIGH MASONRY STUCCOED BLOCK WALLS AND/OR WROUGHT IRON FENCING, WHERE APPROVED BY THE DRB, MUST BE PROVIDED ALONG RESIDENTIAL PROPERTY LINES TO ENCLOSE YARDS. THE FIRST CUSTOM LOT OWNER TO REQUIRE WALL OR FENCING SHALL CONSTRUCT THE WALL IN THE FOLLOWING MANNER: THE WALL FACE ADJACENT TO THE LOT BEING CONSTRUCTED SHALL BE ON THE PROPERTY LINE, WITH ONE INCH (1") OF THE WALL CAP AND THREE INCHES (3") OF THE WALL FOOTING WITHIN THE ADJACENT LOT. THE PROPERTY OWNER WHO CONSTRUCTS THE WALL SHALL RETAIN THE CONSTRUCTION RECEIPTS. THE DRB WILL REQUEST THE ADJACENT OWNER TO REIMBURSE THE FIRST OWNER FOR ½ THE COSTS PRIOR TO THE ISSUANCE OF DRB PLAN APPROVAL FOR THE SECOND CUSTOM HOME.

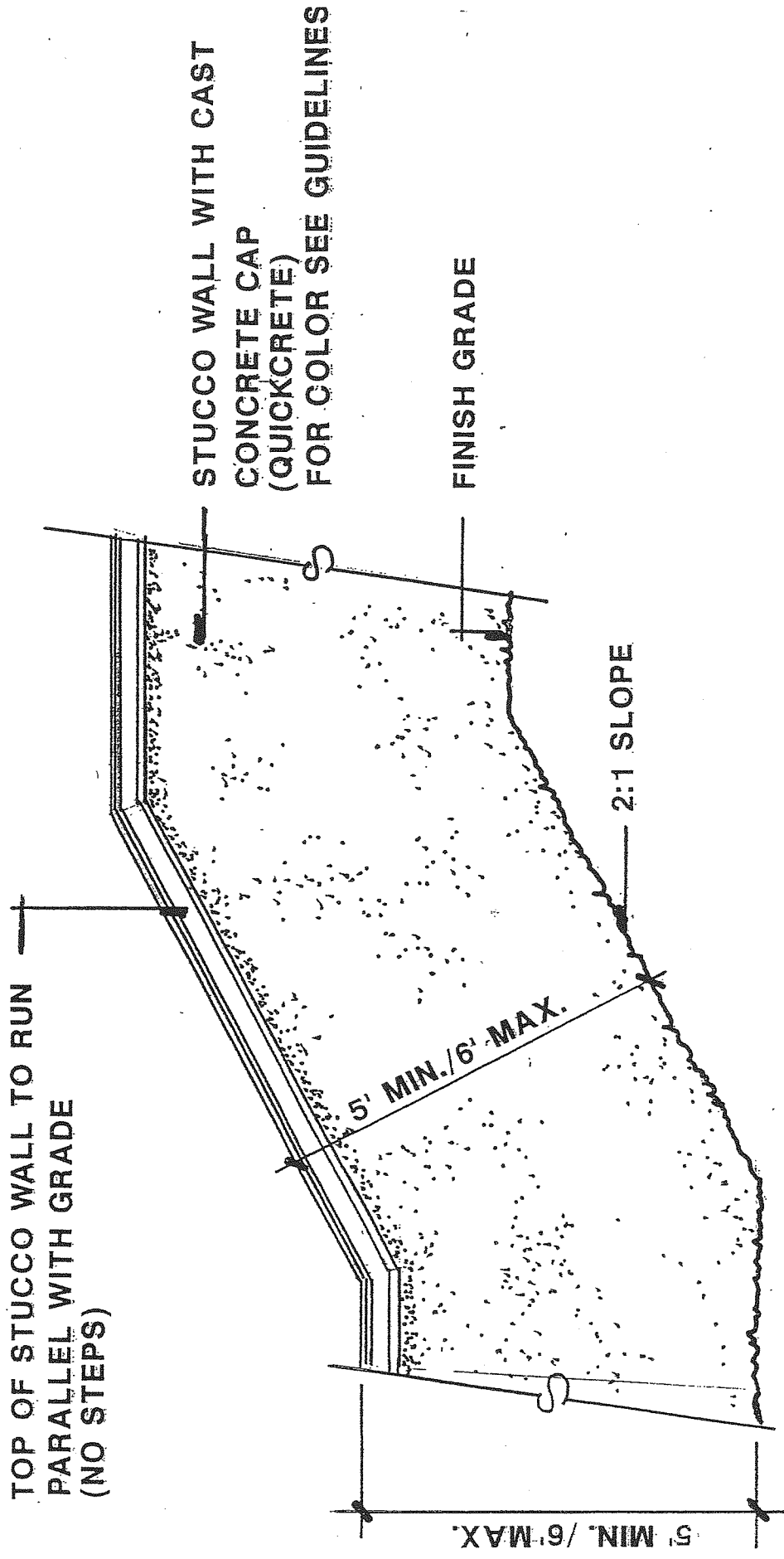
NOTE: MAXIMUM WALL HEIGHT MAYBE INCREASED TO 7' TO ACCOMMODATE ADJACENT PAD ELEVATION; MUST BE APPROVED BY THE D.R.B. AND SHOW ON APPROVED PLANS.



# STUCCO WALL WITH CAST CONCRETE CAP

SCALE 1/2" = 1'-0"

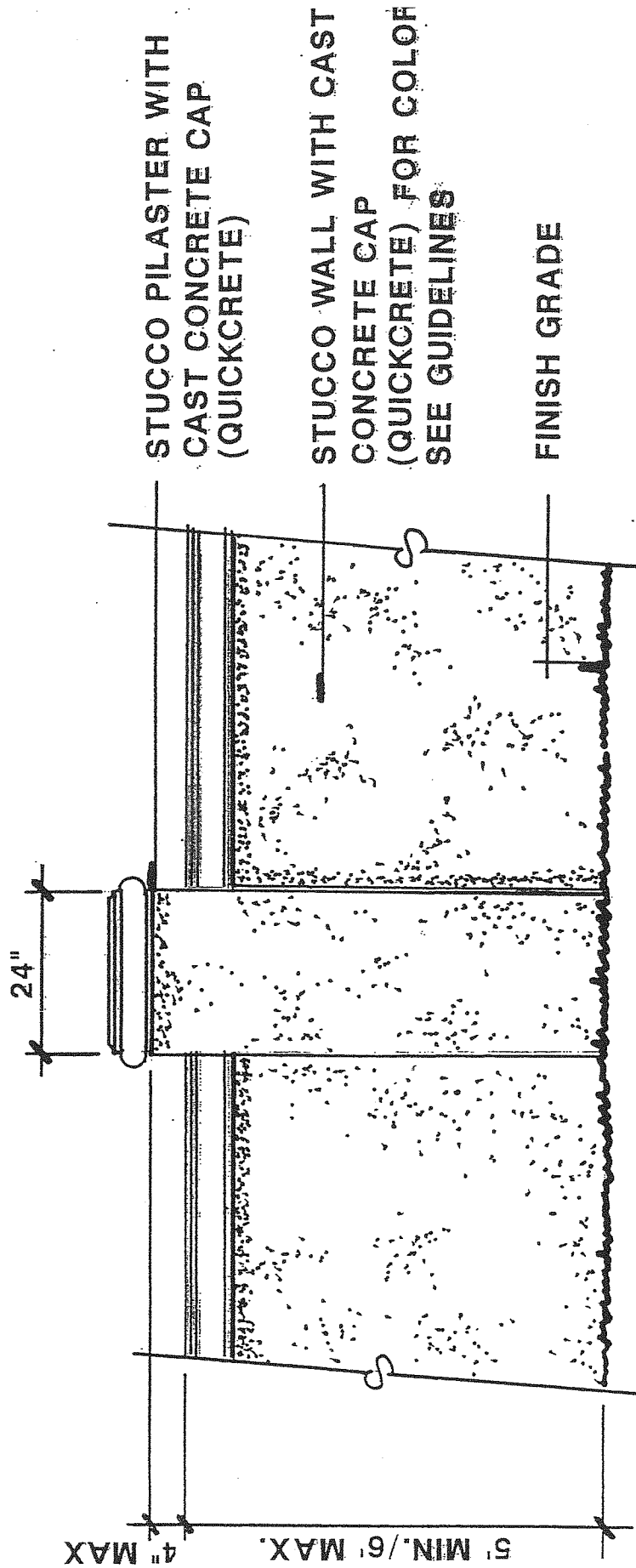
NOTE: MAXIMUM WALL HEIGHT MAYBE INCREASED TO 7' TO ACCOMMODATE ADJACENT PAD ELEVATION. MUST BE APPROVED BY D.R.B. AND SHOW ON APPROVED PLANS.



# SLOPE TRANSITION FOR STUCCO WALL

SCALE 1/2"=1'-0"

NOTE: MAXIMUM WALL HEIGHT MAYBE INCREASED TO 7' TO ACCOMMODATE ADJACENT PAD ELEVATION. MUST BE APPROVED BY THE D.R.B. AND SHOW ON APPROVED PLANS

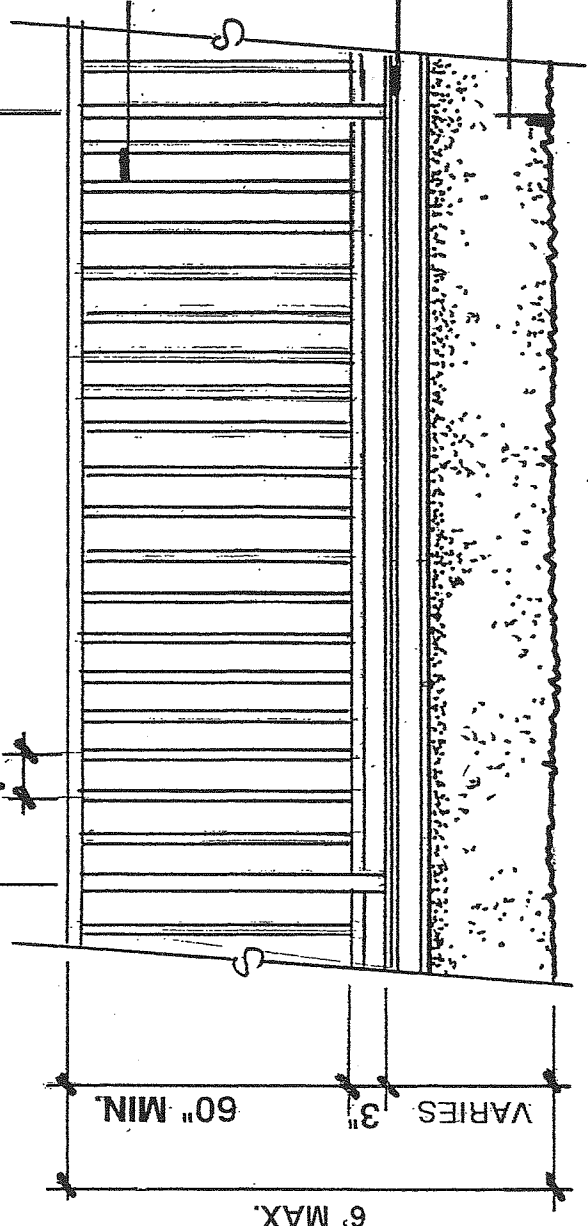


# STUCCO WALL WITH PILASTER

SCALE 1/2"=1'-0"

4" SPACE MAXIMUM BETWEEN PICKETS

8'



60" MIN.

6' MAX.

VARIES 3"

TUBULAR STEEL FENCE  
FOR COLOR SEE  
GUIDELINES

LOW STUCCO WALL WITH  
CAST CONCRETE CAP

FINISH GRADE

# LOW STUCCO WALL WITH WROUGHT IRON FENCE

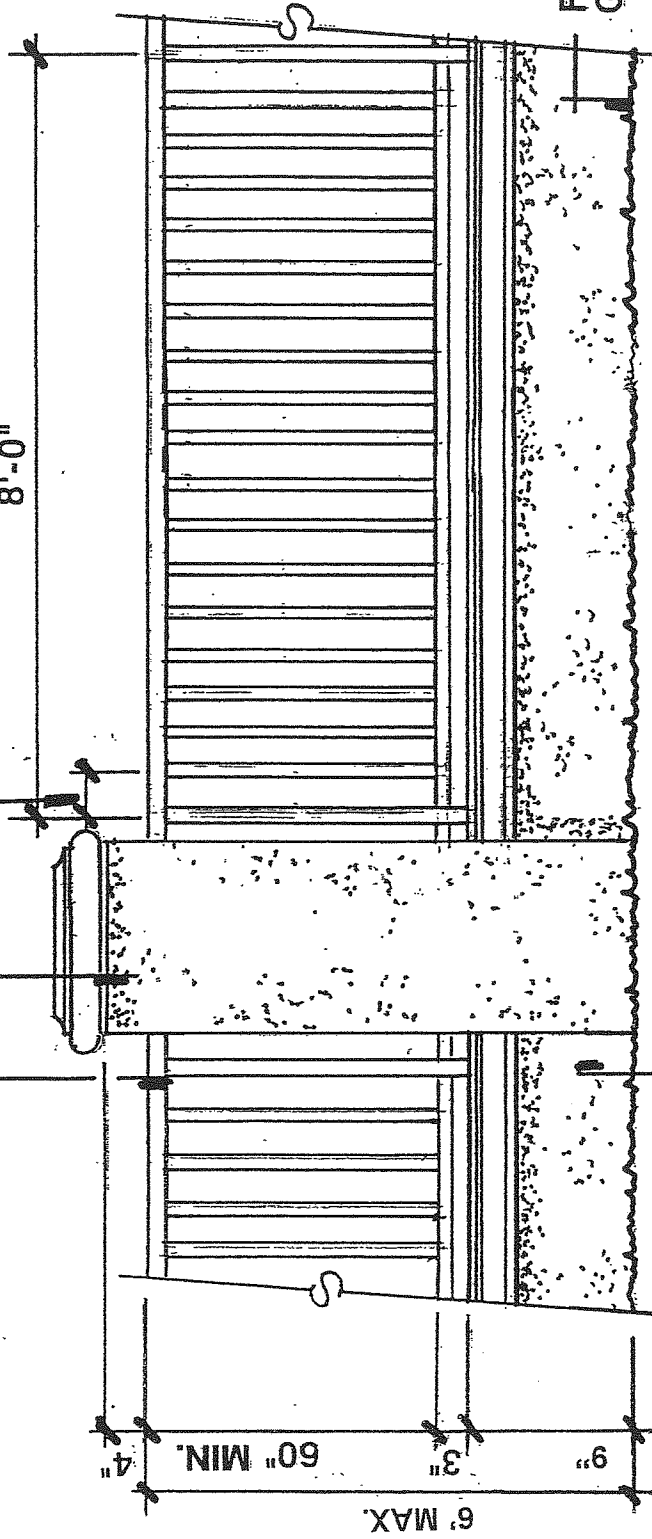
SCALE 1/2"=1'-0"

STUCCO PILASTER WITH  
CAST CONCRETE CAP  
BY QUICKCRETE PRODUCTS

TUBULAR STEEL FENCE  
STEP AT PILASTERS ONLY  
FOR COLOR SEE  
GUIDELINES

4" SPACE MAXIMUM BETWEEN PICKETS

8'-0"

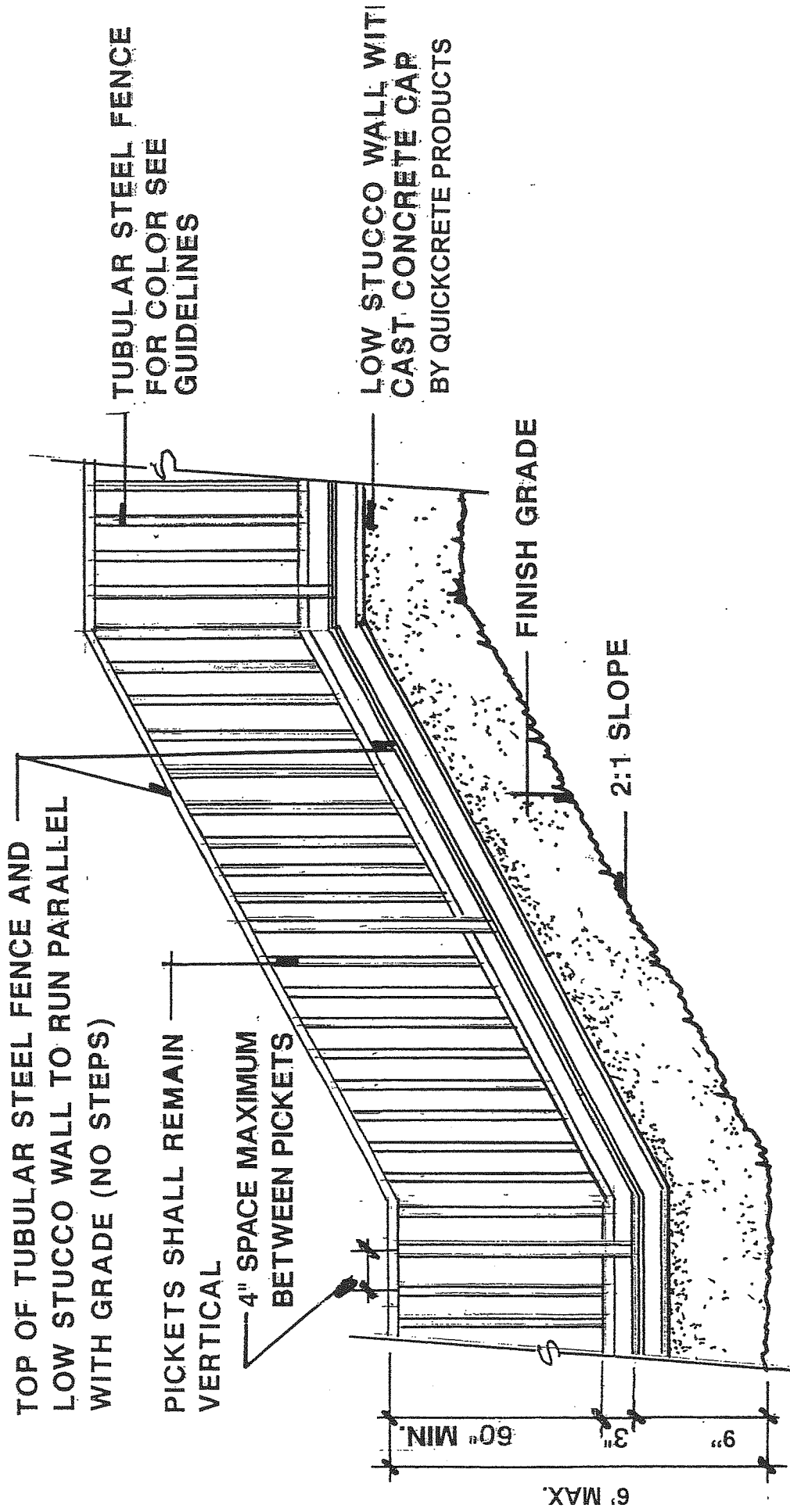


FINISH  
GRADE

LOW STUCCO WALL WITH  
CAST CONCRETE CAP  
BY QUICKCRETE PRODUCTS

# LOW WALL WITH WROUGHT IRON FENCE

SCALE 1/2"=1'-0"



TOP OF TUBULAR STEEL FENCE AND  
 LOW STUCCO WALL TO RUN PARALLEL  
 WITH GRADE (NO STEPS)

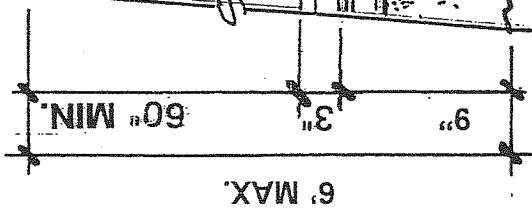
PICKETS SHALL REMAIN  
 VERTICAL  
 4" SPACE MAXIMUM  
 BETWEEN PICKETS

TUBULAR STEEL FENCE  
 FOR COLOR SEE  
 GUIDELINES

LOW STUCCO WALL WITH  
 CAST CONCRETE CAP  
 BY QUICKCRETE PRODUCTS

FINISH GRADE

2:1 SLOPE



# SLOPE TRANSITION FOR LOW STUCCO WALL WITH WROUGHT IRON FENCE

SCALE 1/2" = 1'-0"

9 OF 20

MAY 2, 2002

TO. OF SLOPE

1" X 1" TUBULAR STEEL TOP AND BOTTOM RAILS

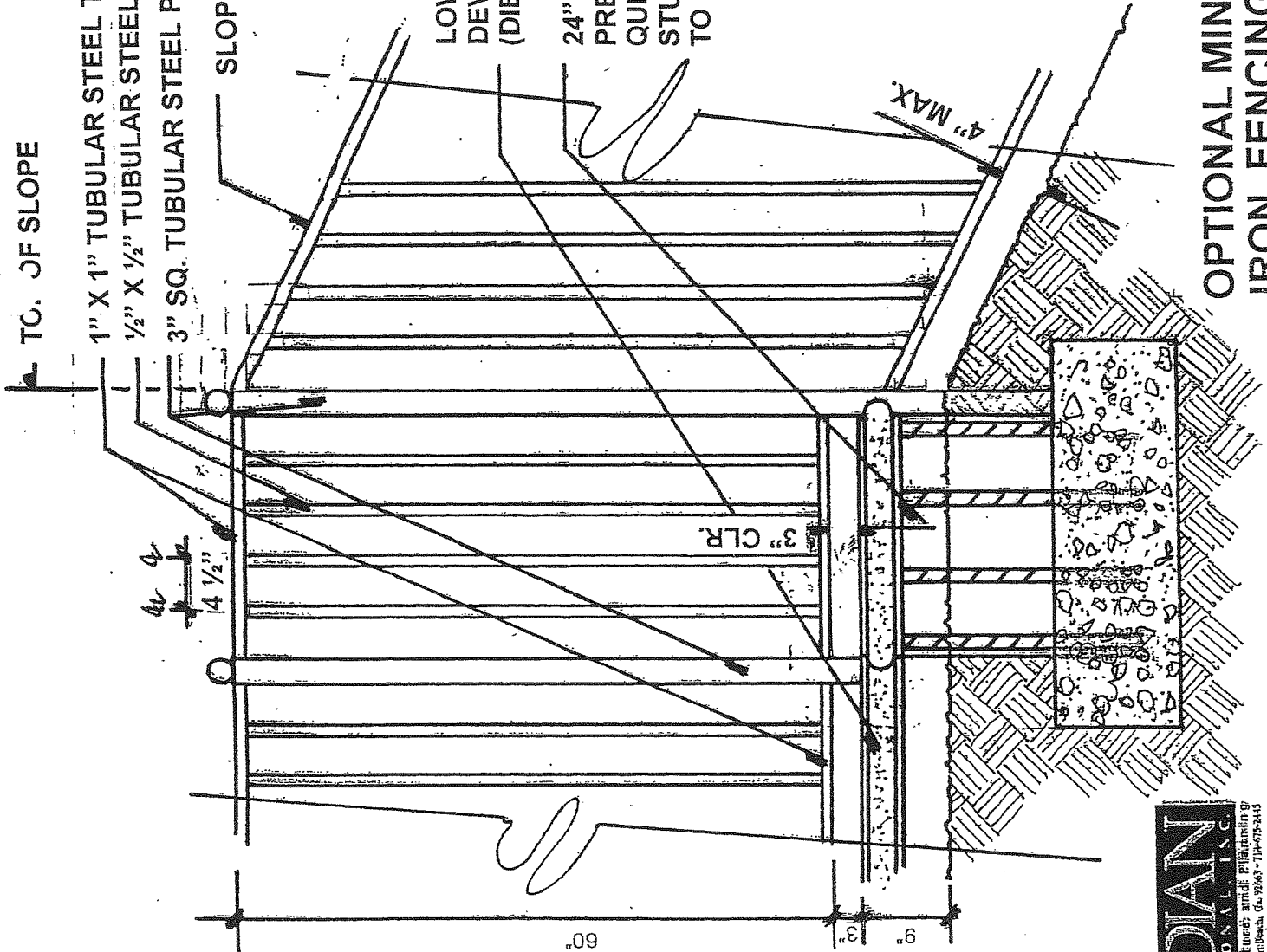
1/2" X 1/2" TUBULAR STEEL PICKETS

3" SQ. TUBULAR STEEL POSTS WITH FINIALS

SLOPE FENCE WITH NO STEPS

LOW WALL AND FENCE PER DEVELOPMENT STANDARDS. (DIE INTO CENTER OF PILASTER.)

24" SQUARE PILASTER WITH PRECAST CONCRETE CAP BY QUICKCRETE (25" FOOTPRINT) STUCCO COLOR AND FINISH TO MATCH HOUSE.



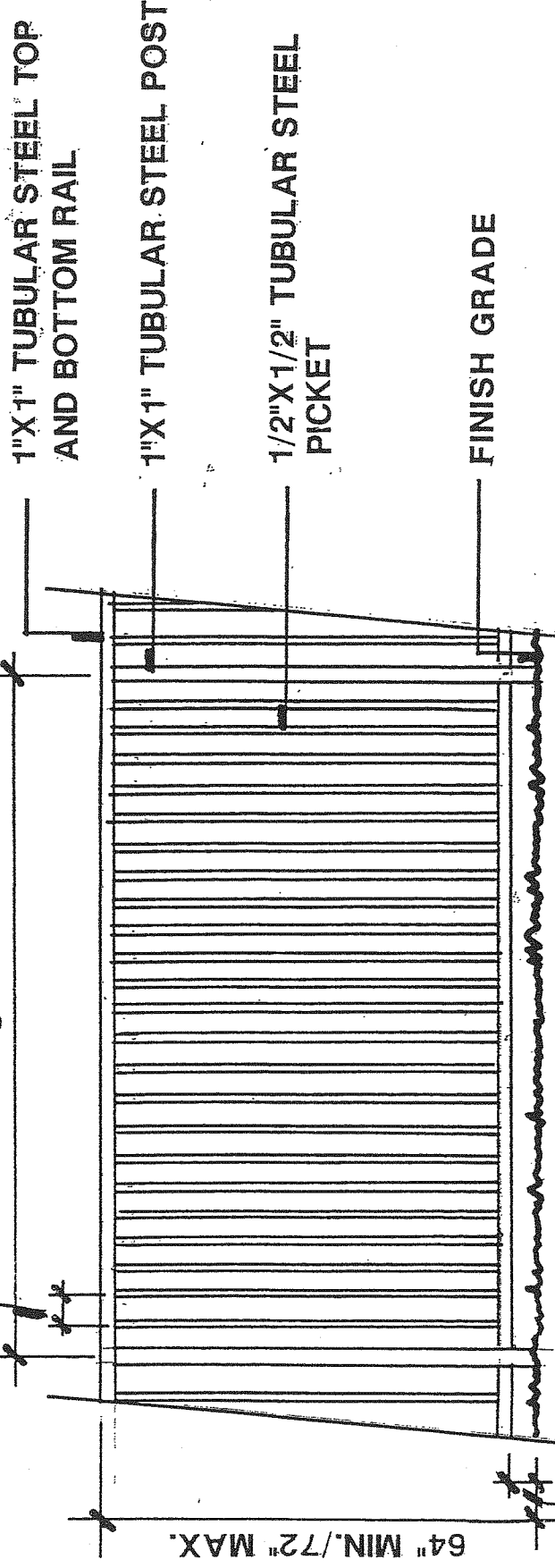
# OPTIONAL MINI PILASTER FOR WROUGHT IRON FENCING

**PERIDIAN**  
INTERNATIONAL, INC.  
Manufacturing Architectures and Interiors  
3600 North Blvd., Suite 130 • Houston, TX 77043 • 714-975-2445



4" SPACE MAXIMUM BETWEEN PICKETS

8'



1"X1" TUBULAR STEEL TOP AND BOTTOM RAIL

1"X1" TUBULAR STEEL POST

1/2"X1/2" TUBULAR STEEL PICKET

FINISH GRADE

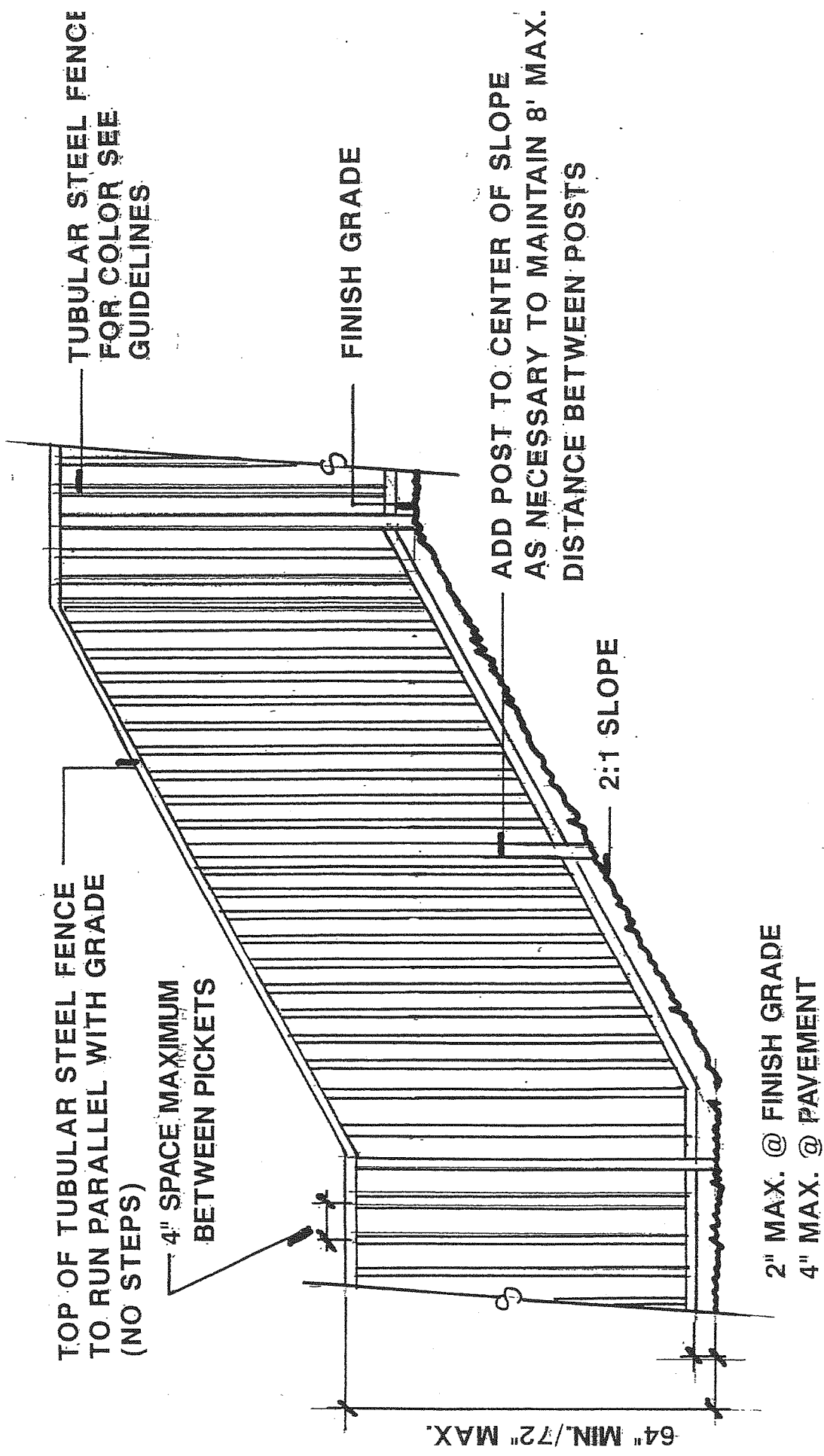
64" MIN./72" MAX.

2" MAX @ FINISH GRADE  
4" MAX @ PAVEMENT

NOTE: PAINT WITH 1 COAT PRIMER AND TWO COATS PANTONE 476C ENAMEL FINISH. VERIFY COLOR WITH DESIGN REVIEW BOARD

# WROUGHT IRON FENCE

SCALE 1/2"=1'-0"



TOP OF TUBULAR STEEL FENCE  
TO RUN PARALLEL WITH GRADE  
(NO STEPS)

4" SPACE MAXIMUM  
BETWEEN PICKETS

TUBULAR STEEL FENCE  
FOR COLOR SEE  
GUIDELINES

FINISH GRADE

ADD POST TO CENTER OF SLOPE  
AS NECESSARY TO MAINTAIN 8' MAX.  
DISTANCE BETWEEN POSTS

2:1 SLOPE

2" MAX. @ FINISH GRADE  
4" MAX. @ PAVEMENT

64" MIN./72" MAX.

# SLOPE TRANSITION FOR WROUGHT IRON FENCE

SCALE 1/2"=1'-0"

STREET BELOW

BOTTOM OF SLOPE

PROPERTY LINE

10' MIN.  
VARIES

TYPICAL 2:1 MPOA SLOPE  
(SLOPE MAY VARY)

12'  
MAX

EXISTING TOP OF SLOPE

CONSTRUCTION ZONE

RESIDENCE

IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO MODIFY, REPAIR AND ENHANCE MPOA LANDSCAPE AND IRRIGATION TO ADEQUATELY SCREEN FENCING AND STRUCTURES BUILT BEYOND THE EDGE OF SLOPE.

# M.P.O.A. SLOPE CONSTRUCTION ZONE PLAN VIEW

**A** CLEARANCE FROM EDGE OF POOL OR HARDSCAPE TO SIDYARD PROPERTY LINE.

**B** MAXIMUM OF 40'-0" RUN OF HARDSCAPE BEFORE CHANGE OF DIRECTION

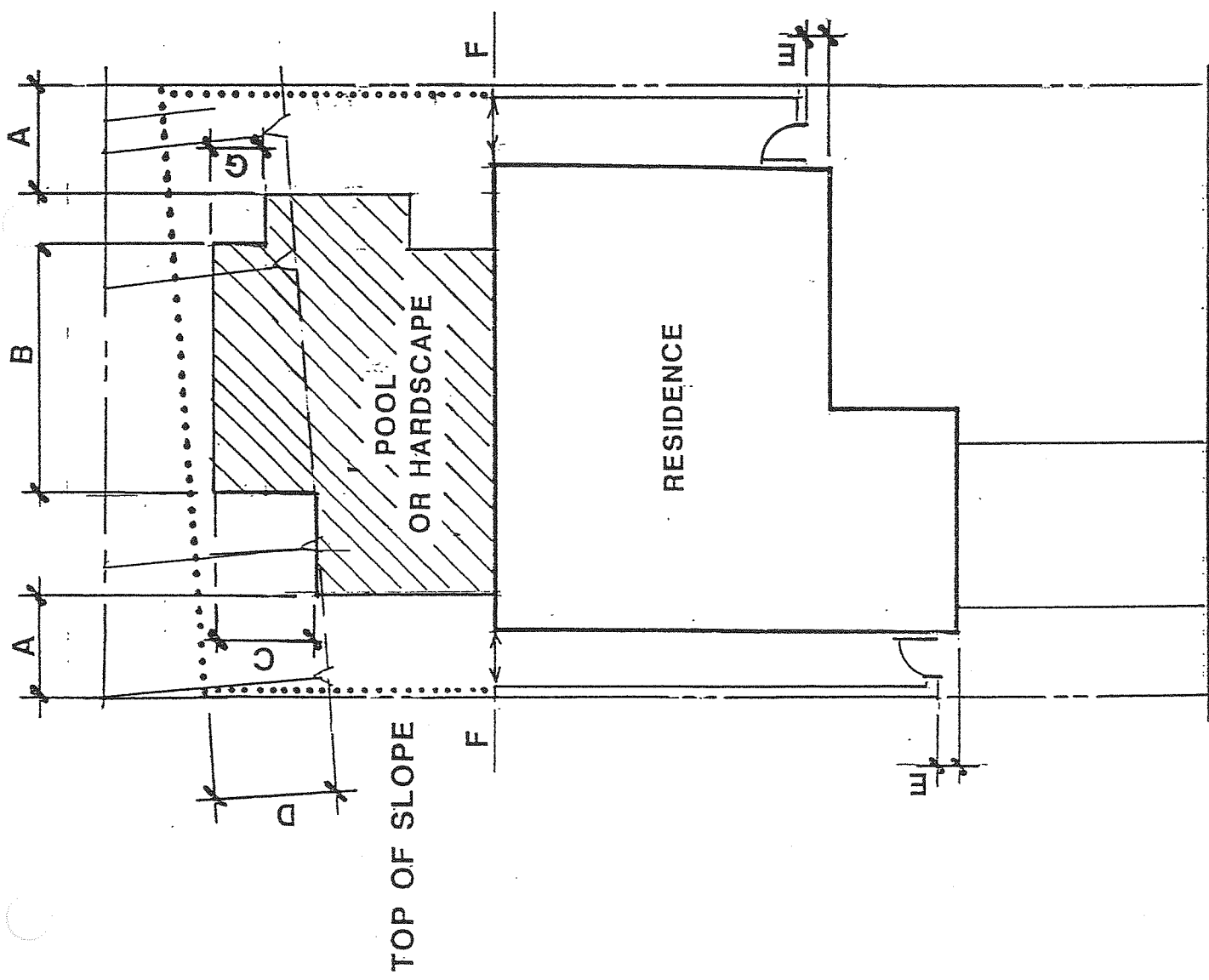
**C** MAXIMUM 10'-6" HORIZONTAL PROJECTION OF HARDSCAPE BEYOND TOP OF SLOPE IF FENCE REQ'D

**D** MAXIMUM DISTANCE OF 12'-0 DOWN SLOPE FOR TUBULAR STEEL FENCING

**E** MINIMUM OF 18" SETBACK FROM FRONT FACE OF HOUSE FOR SIDYARD WALLS AND GATES

**F** END STUCCO SIDYARD WALLS AND BEGIN TUBULAR STEEL FENCE AT REAR FACE OF RESIDENCE

**G** MINIMUM 3' JOGS IN HARDSCAPE OR POOLS TO CREATE VISUAL RELIEF

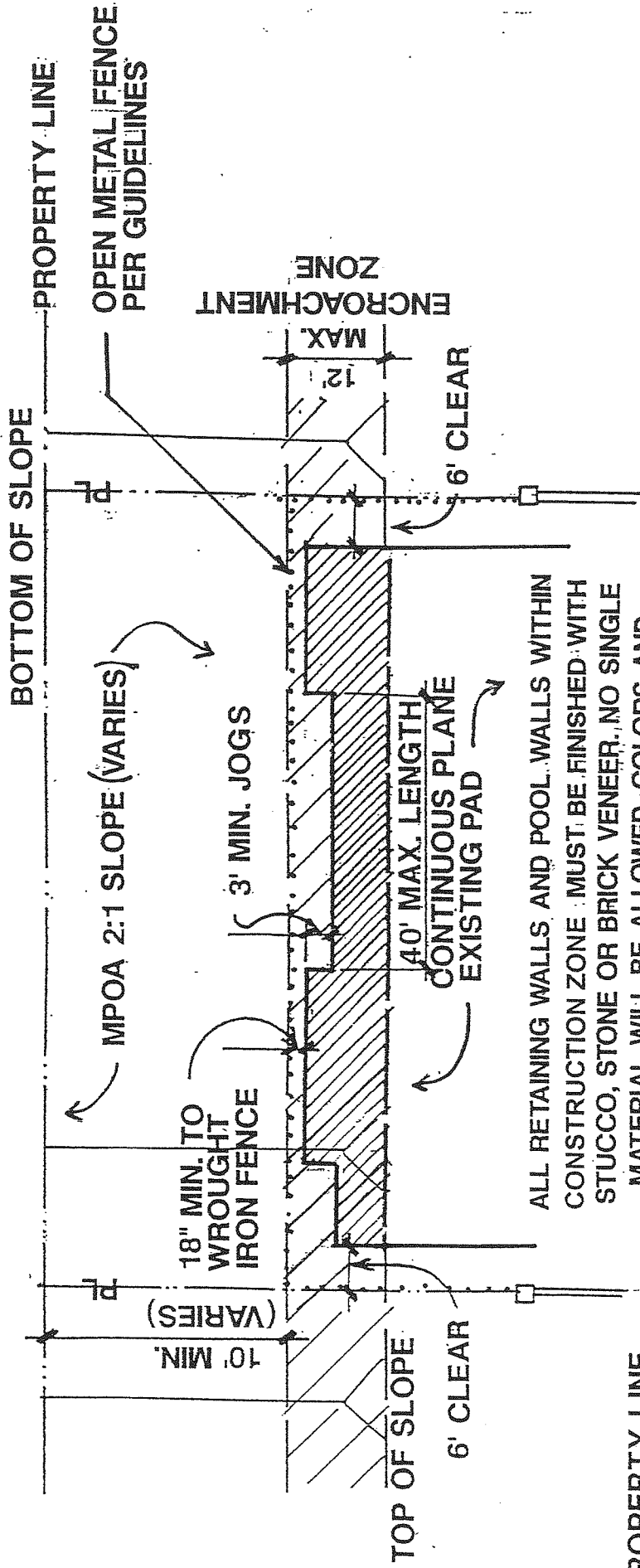


IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO MODIFY, REPAIR AND ENHANCE MPOA LANDSCAPE AND IRRIGATION TO ADEQUATELY SCREEN FENCING AND STRUCTURES BUILT BEYOND THE EDGE OF SLOPE.

**M.P.O.A. SLOPE CONSTRUCTION ZONE**

IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO MODIFY, REPAIR AND ENHANCE MPOA LANDSCAPE AND IRRIGATION TO ADEQUATELY SCREEN FENCING AND STRUCTURES BUILT BEYOND THE EDGE OF SLOPE.

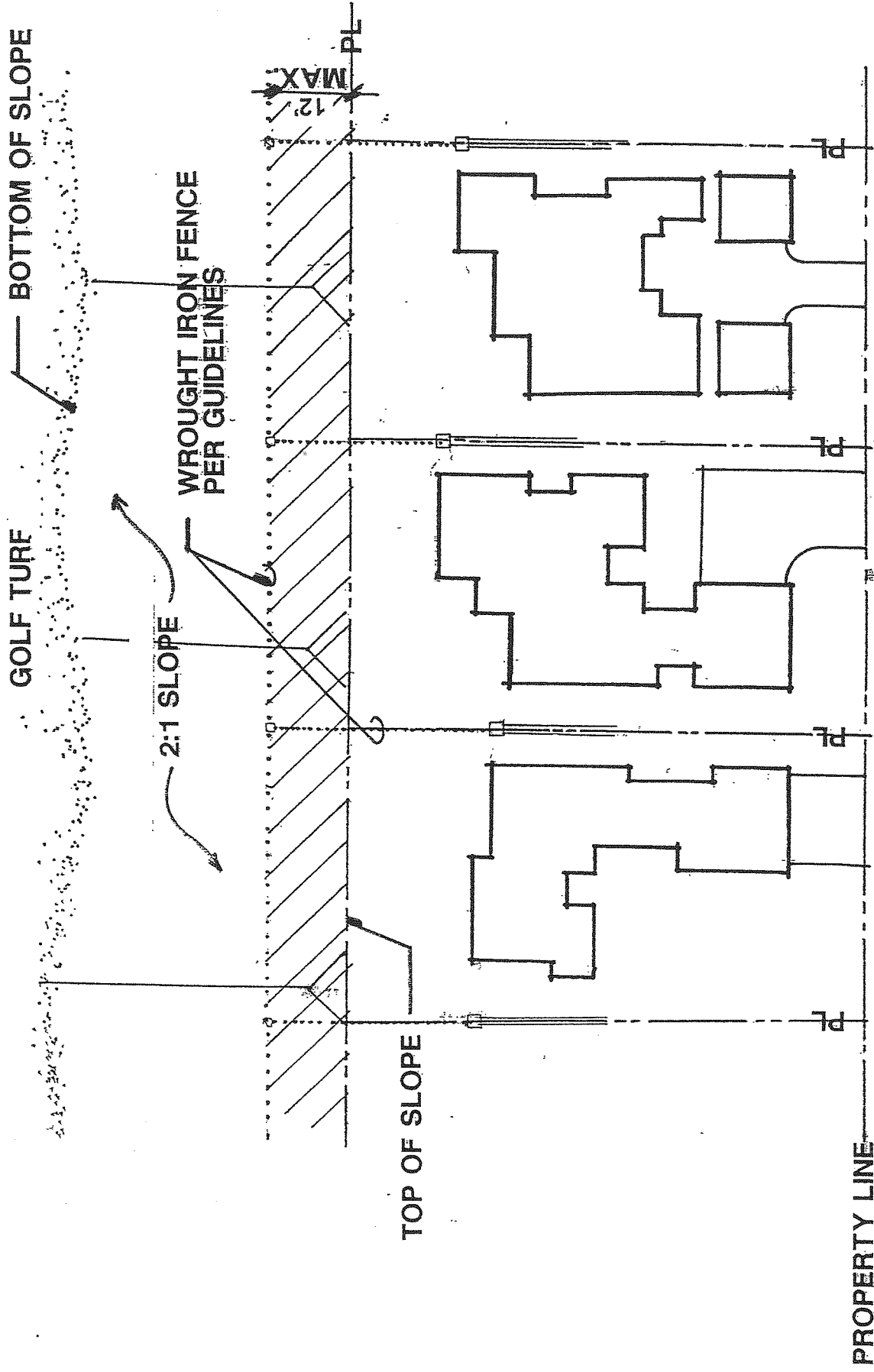
STREET BELOW



ALL RETAINING WALLS AND POOL WALLS WITHIN CONSTRUCTION ZONE MUST BE FINISHED WITH STUCCO, STONE OR BRICK VENEER. NO SINGLE MATERIAL WILL BE ALLOWED. COLORS AND MATERIALS MUST BE COORDINATED WITH RESIDENCE OR COMMUNITY STRUCTURES, i.e. STONE MONUMENT WALLS, GUARDHOUSE. VARIATIONS IN LOCATION OF WALLS IS ENCOURAGED WITH NO CONTINUOUS SOLID PLANE OF WALL EXCEEDING 40' IN LENGTH WITHOUT A MINIMUM 3 FOOT HORIZONTAL JOG IN THE WALL.

SEE SECTION

# M.P.O.A. SLOPE CONSTRUCTION ZONE PLAN VIEW



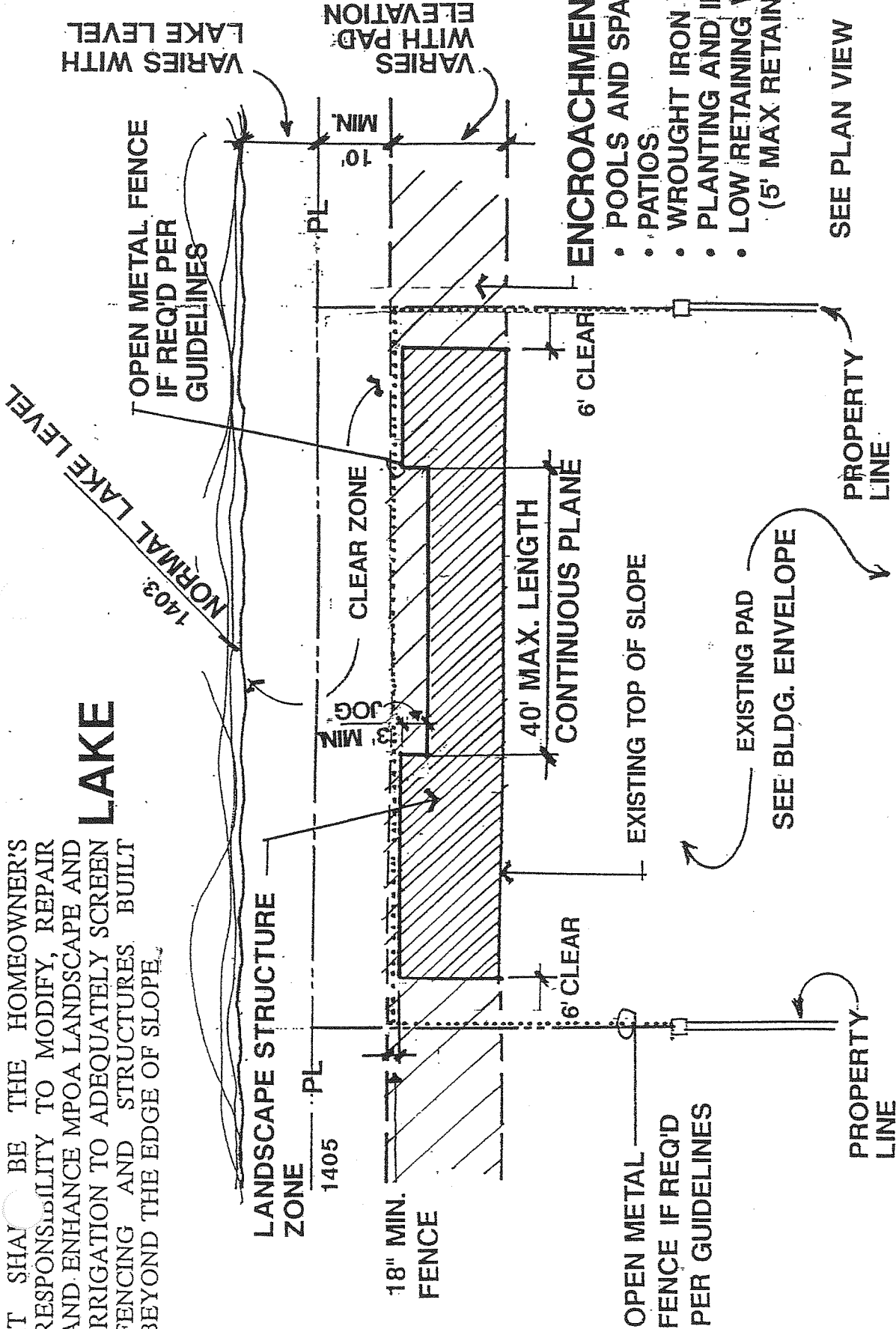
N.T.S.

# GOLF COURSE SLOPE CONSTRUCTION ZONE

(FENCING AND PLANTING ONLY)

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# LAKE

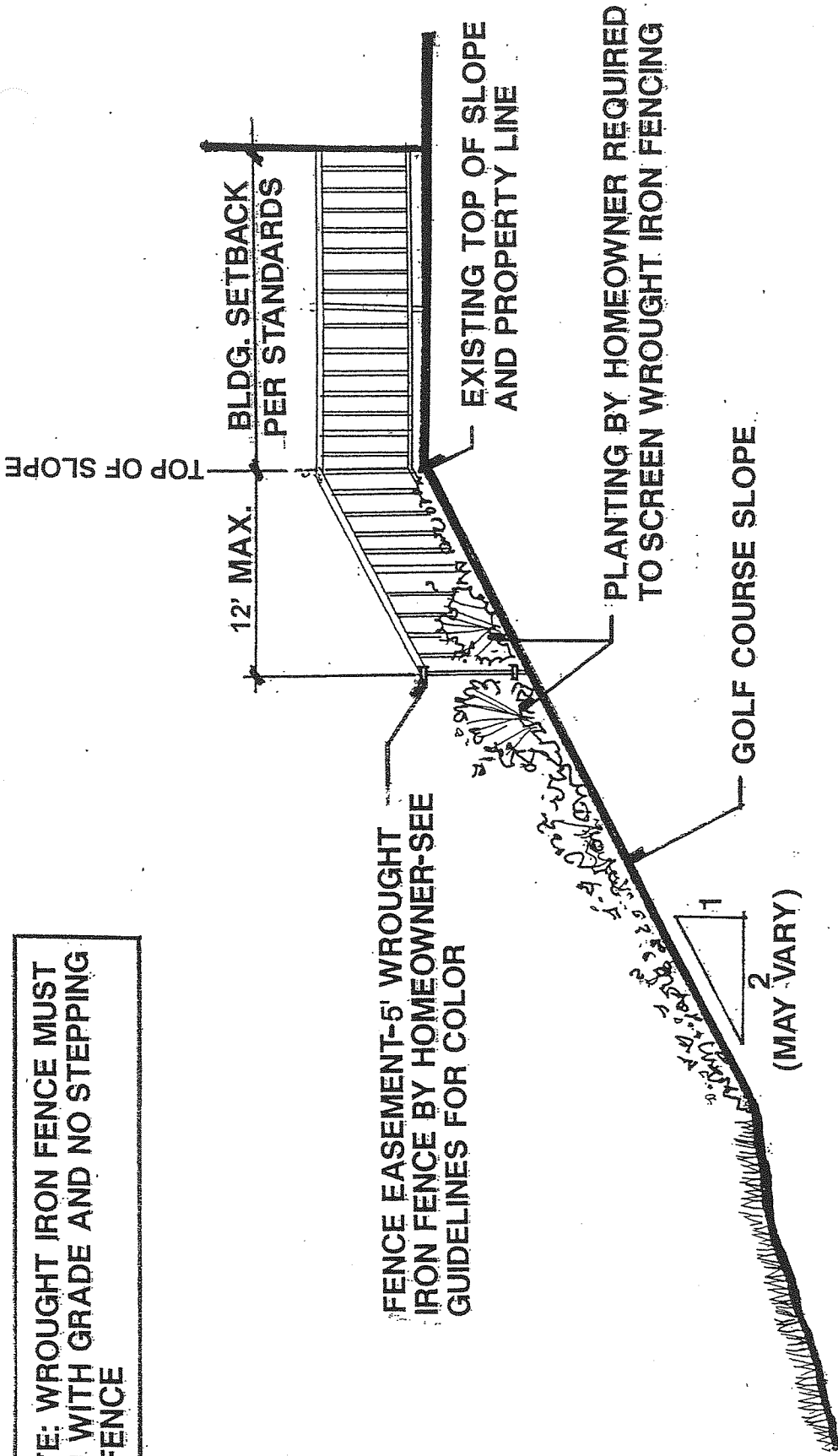


- ENCROACHMENT ZONE:**
- POOLS AND SPAS
  - PATIOS
  - WROUGHT IRON FENCING
  - PLANTING AND IRRIGATION
  - LOW RETAINING WALLS (5' MAX RETAINING)

SEE PLAN VIEW

## LANDSCAPE LAKE CONSTRUCTION ZONE PLAN VIEW

**NOTE: WROUGHT IRON FENCE MUST RUN WITH GRADE AND NO STEPPING OF FENCE**



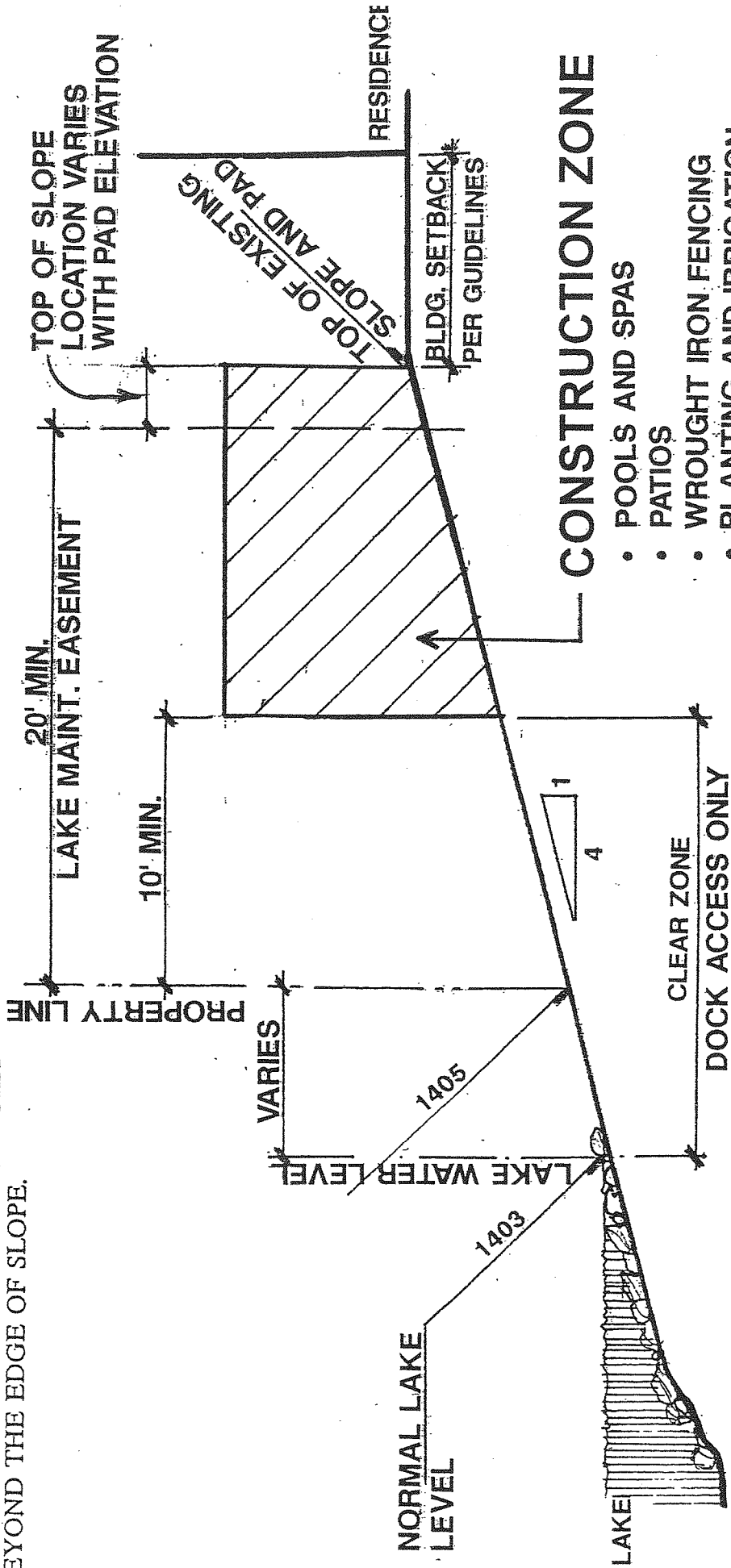
N.T.S.

# GOLF COURSE SLOPE ENCROACHMENT

FENCE ENCROACHMENT WHERE LOTS BACK ONTO GOLF COURSE (WROUGHT IRON FENCE AND PLANTING ONLY TO SCREEN FENCE)



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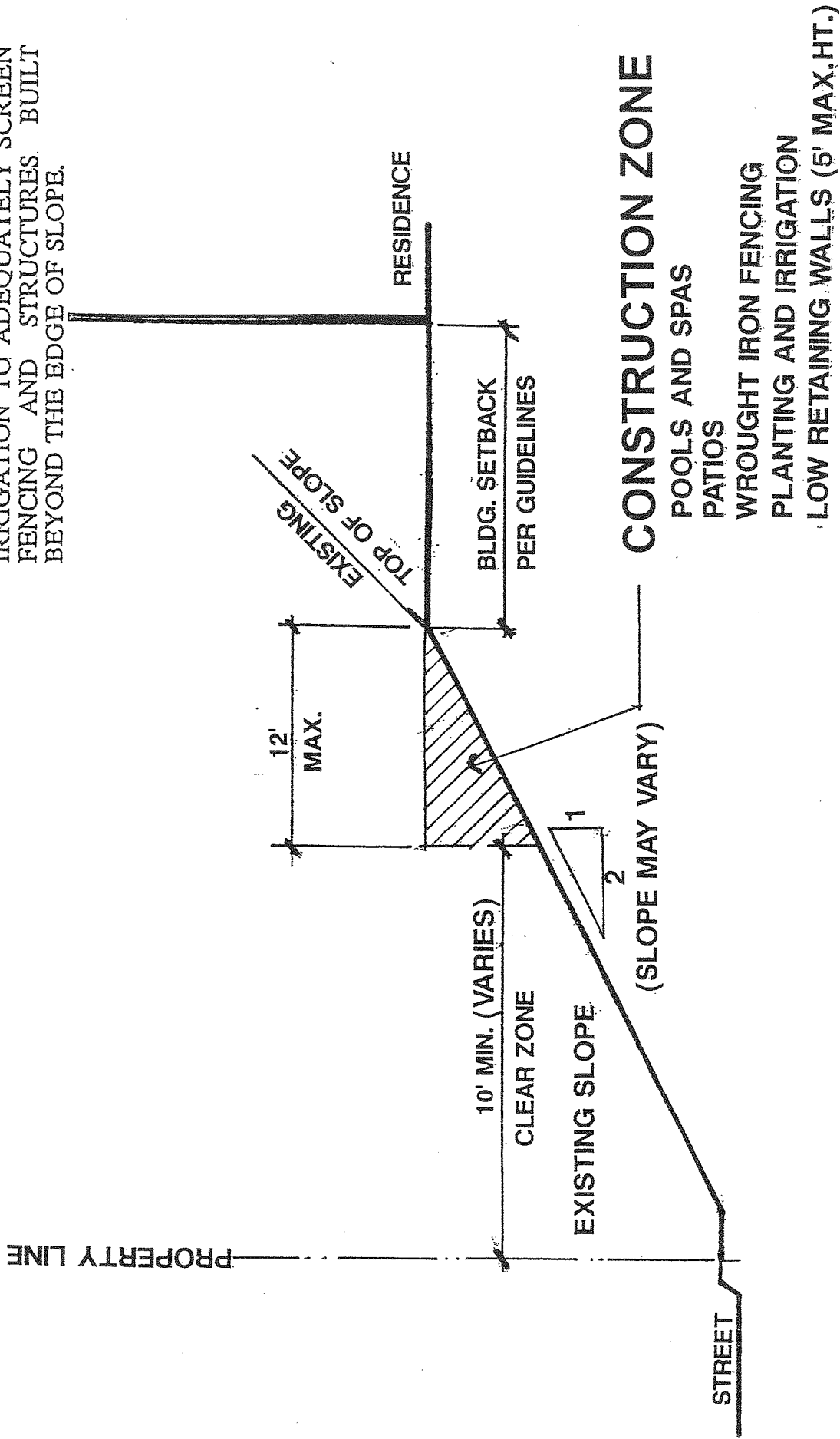
### CONSTRUCTION ZONE

- POOLS AND SPAS
- PATIOS
- WROUGHT IRON FENCING
- PLANTING AND IRRIGATION
- LOW WALLS
- POOL WALLS AND RETAINING WALLS (5' MAX. HT.)

## LANDSCAPE LAKE CONSTRUCTION ZONE SECTION

NOTE: MUST SUBMIT PLANS FOR ENCROACHMENT APPROVAL AND AUTHORIZATION PRIOR TO CONSTRUCTION FROM DESIGN REVIEW BOARD

IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO MODIFY, REPAIR AND ENHANCE MPOA LANDSCAPE AND IRRIGATION TO ADEQUATELY SCREEN FENCING AND STRUCTURES BUILT BEYOND THE EDGE OF SLOPE.



SEE PLAN VIEW

# M.P.O.A. SLOPE CONSTRUCTION ZONE SECTION

20 OF 20

MAY 2, 2002